

BOARD OF ZONING APPEALS
September 3rd, 2024

Public Comment: Citizens may provide public comment here:

<https://www.iop.net/public-comment-form>

AGENDA

The Isle of Palms Board of Zoning Appeals will hold its regularly scheduled meeting on September 3rd, 2024, at **4:00pm** in City Hall **Upstairs Conference Room**, 1207 Palm Boulevard

- A. Call to order and roll call
- B. Acknowledgement that the meeting has been advertised in compliance with State law
- C. Approval of minutes of previous meeting: July 19th, 2024
- D. Swearing of any person giving testimony
- E. Special Exceptions: 27 Twin Oaks Lane
 1400 Palm Boulevard
- F. Appeals: 2610 Palm Boulevard
- G. Executive session to receive legal advice protected by the attorney client privilege (S.C. Code Ann. 34-4-70-(a)(2)) concerning BOZA Appeal. The Board may take action following executive session.
- H. Return to regular session
- I. Miscellaneous business
- J. Adjournment



BOARD OF ZONING APPEALS
4:00pm, Tuesday, July 9, 2024
1207 Palm Boulevard, Isle of Palms, SC

MINUTES

1. Call to order

Present: Glenn Thornburg, Robert Miller, Susie Wheeler, Ted McKnight, and
Zoning Director Simms

Absent: Ellen Gower

2. Approval of Previous Meeting's Minutes

MOTION: Mr. McKnight made a motion to approve the minutes of the May 7, 2024 meeting, and Ms. Wheeler seconded the motion. The minutes passed unanimously.

3. Swearing in of applicants

Mr. Thornburg swore in the applicant.

4. Home Occupations

A. 906 Palm Boulevard

Zoning Director Simms said that the applicant, Cynthia Rocha, is requesting a special exception to allow the establishment of a defense contracting firm at their home. The applicant has indicated that the home will be used for office work only, that there will be no business-related traffic coming to the residence, there will be no evidence of a business outside the house, and that there will be no employees working in the residence other than family members that live in the home.

Ms. Rocha said she will only be using her home for office work. There will be no outdoor evidence of a business and no signage indicating a business.

MOTION: Mr. McKnight made a motion to approve and Ms. Wheeler seconded the motion. The motion passed unanimously.

5. Miscellaneous Business -- none

6. Adjournment

Ms. Wheeler made a motion to adjourn and Mr. McKnight seconded the motion. The meeting was adjourned at 4:06pm.

Respectfully submitted,

Nicole DeNeane
City Clerk

Appeal Number: 24-14

Applicant: Darlene Enroth

Address: 27 Twin Oaks Lane

Request:

The applicant is requesting a special exception to allow the establishment of a concierge business at their home. The applicant has indicated that the home will be used for office work only, that there will be no business-related traffic coming to the residence, there will be no evidence of a business outside the house, and that there will be no employees working in the residence other than family members that live in the home. The business is classified in Table B1 as 7389- office work for business services not elsewhere classified.

Board of Zoning Appeals
Information Sheet
City of Isle Palms

Date Filed: _____

Appeal Number _____

Instructions:

This form must be completed for a hearing on appeal from action of a zoning official, application for a variance, or application for a special exception. Entries must be printed or typewritten. If the applicant is not the owner of the property, all must sign.

Property Address 27 Twin Oaks Ln

Lot 9 Block L TMS 60910000141

Area of Lot 1548 Zoning Classification _____

Applicant(s) Name Darlene Enroth

Address 27 Twin Oaks Ln 10P

Telephone 843-693-7744

Interest (i.e. Owner, Owner's attorney, Architect, etc) Neighbor

Owner(s) (if different from applicant) _____

Name _____

Address _____

Telephone _____

I (We) certify that this application and all supporting documents attached are correct.

Darlene Enroth 8/14/24
Applicant signature/date

Owner signature (if different from applicant)/ date _____

Board of Zoning Appeals
Special Exception Application
Home Occupation
City of Isle of Palms

1. Applicant hereby appeals to the Board of Zoning Appeals for a special exception for the use of the property described on the information sheet (page 1) as (give brief description of business): Concierge / on call to assist out of town owners
2. Will there be any work other than office work (i.e. use of phone, computer, fax, etc.) occurring at this residence? Yes _____ No X. If yes, please explain: _____
3. Will there be any evidence of a business from a visual inspection of the exterior of this residence? Yes _____ No X. If yes, please explain: _____
4. Will any signs, merchandise, equipment or other articles be displayed in a manner that they are visible from the street? Yes _____ No X
5. Will there be any business related traffic coming to this residence? Yes _____ No X. If yes, please explain and give frequency: _____
6. Will there be any employees working in this residence other than family members? Yes _____ No X
7. Will any business related activity be conducted on your property, but outside of the house (i.e. in a detached shed or in the yard)? Yes _____ No X
8. Will any merchandise or articles be stored at any location other than inside this residence? Yes _____ No X. If yes, explain: _____
9. Will more than 25% of the floor of this residence be devoted to the occupation? Yes _____ No X
10. Will any equipment or materials that are not normal to a household be used or stored at this residence in connection with the occupation? Yes _____ No X
11. Will the occupation generate any noise, vibration, heat, glare, smoke, odor, or dust perceptible to your neighbors? Yes _____ No X
12. Are there currently any other home occupations operating at this residence? Yes _____ No X

Describe in full the nature of your occupation, profession, or trade by listing all activities related to such occupation that will be undertaken in your home: _____

Be on call to assist out of town owners as they need to check house (ie. after storms, check house for any leaks, etc.) Coordinate cleaning or contractors as needed since they owners are not on premises. Expect only a handful needing help.

In applying for this special exception home occupation, I have answered the questions truthfully and have not omitted any information about my home occupation which, if disclosed, would result in a denial of this application in accordance to section 5-4-7 (a) (b) of the City of Isle of Palms Code of Ordinances.

I further acknowledge that, if granted, the special exception home occupation and business license issued under authority of that permit may be revoked if any of the information contained in this application is found to be untruthful or if I fail to meet the requirements of section 5-4-44 and 5-4-2(18): If I have failed to provide information fully describing the home occupation to be conducted on my premises, or at any time the conduct of my home occupation may constitute a nuisance as defined in section 5-4-44 or section 6-1-11, et. Esq., of the City of Isle of Palms Code of Ordinances. Any activity which adversely diminishes the residential character of my neighborhood may be cause for revocation of my home occupation. Outdoor advertising is not allowed under this license.

Douglas Smith 8/14/24

Signature of applicant & date

Appeal Number: 24-15

Applicant: Matt Immerfall on behalf of Jeff's Bagel Run

Address: 1400N Palm Boulevard

Request:

The applicant is requesting a special exception to allow the establishment of a drive-through service business in the GC-1 zoning district. Section 5-4-38(3) of the City's zoning code specifies drive-through service windows are allowed upon a finding by the Board of Zoning Appeals that the facility provides adequate (1) space for the stacking of vehicles based upon the number of drive-through vehicles projected during the peak fifteen (15) minute period, (2) the service time involved in processing customers' orders, and (3) the window time necessary to complete the transaction. Additionally, Section 5-4-5(c) of the zoning code specifies the standards that the Board must apply in deciding special exception applications. The applicant has proposed several measures to be taken in order to ensure there is no hinderance to traffic, including an overflow drive-through line and installation of appropriate signage. The referenced zoning codes are provided below:

Sec. 5-4-38

(3) *Drive-through service windows.* Drive-through service windows are permitted only in GC-1 and GC-3 districts as a special exception subject to section 5-4-5 upon a finding by the Board of Zoning Appeals that the facility provides adequate space for the stacking of vehicles based upon the number of drive-through vehicles projected during the peak fifteen (15) minute period, the service time involved in processing customers' orders, and the window time necessary to complete the transaction. Drive-through service window facilities, or uses thereof, existing on June 22, 1993, and located in the

GC-1 district, shall not be altered or enlarged without approval of a special exception subject to section 5-4-5 and the criteria stated in this subsection.

Sec. 5-4-5

(c) *Special exceptions.*

1. Upon written application filed with the Zoning Administrator, the Board may grant as a special exception any use specified as a special exception in the zoning district regulations. In addition to the conditions generally required by the applicable zoning district regulations, the Board shall apply the following standards in deciding special exception applications:

(1) Adequate provision shall be made for setbacks, fences, buffer or planting strips to protect adjacent properties from adverse impact of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion and similar factors.

(2) Vehicular traffic and pedestrian movement on adjacent roads must not be hindered or endangered.

(3) Off-street parking and loading areas and the entrances and exits for the use must be adequate in terms of location, number, design and construction to serve the use without adverse impact on adjacent properties.

(4) The proposed use must not adversely affect the property values, the general character or the general welfare of the surrounding vicinity.

2. In granting a special exception, the Board may attach to it such conditions regarding the location, size, character, or other features of the proposed use as the Board may consider advisable in order to promote public health, safety, or general welfare. No special exception use may be altered or enlarged without the prior approval of the Board.

Board of Zoning Appeals

**Information Sheet
City of Isle of Palms**

Date Filed: _____

Appeal Number _____

Instructions:

This form must be completed for a hearing on appeal from action of a zoning official, application for a variance, or application for a special exception. Entries must be printed or typewritten. If the applicant is not the owner of the property, all must sign.

An accurate, legible plot plan, showing all property dimensions and locations of all structures and improvements must be attached:

Property Address 1400N Palm Blvd, Isle Of Palms, SC 29451 ; Ocean Park Plaza

Lot _____ Block _____ TMS _____

Area of Lot _____ Zoning Classification _____

Applicant(s) Name Matt Immerfall on behalf of Jeff's Bagel Run

Address 573 Galera Ln, Mt. pleasant SC 29464

Telephone 1 (407)902-9236

Interest [i.e. owner, owner's attorney, architect, etc.] Potential Tenant


Owner(s) [If different from applicant]

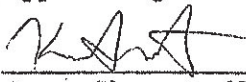
Name Ocean Boulevard Properties, a South Carolina limited partnership (managed by The Beach Company)

Address 320 Broad Street, Suite 600, Charleston, SC 29401

Telephone (843) 277-3016 (Kevin Foote, Commercial Asset Manager, The Beach Company)

I (We) certify that this application and all supporting documents attached are correct.

 8/19/24
Applicant Signature/Date

 Kevin Foote 8/19/2024
Owner Signature (if different from applicant)/Date

**Zoning Board of Adjustment
Special Exception Application
City of Isle of Palms
Form - 4**

Date Filed: _____

Appeal Number: _____

1. Applicant hereby appeals to the Zoning Board of Adjustment for a special exception for use of the property described in the Notice of Appeals [Form 1] as: Jeff's Bagel Run with a Drive-Thru

_____ which is a permitted special exception under the district regulation in Section _____ of the Zoning Ordinance.

2. Applicant will meet the standards in Section 5-4-5(c) of the Zoning Ordinance which are applicable to the proposed special exception in the following manner: _____

_____ Please see word document attached to this application.

3. Applicant suggests that the following conditions be imposed to meet the standards in the Zoning Ordinance: _____

_____ Please see word document attached to this application.

4. The following documents are submitted in support of this application: Word document answering 2&3

_____ A Site Plan and prototype plans (not for this site) are also provided for reference.

_____ [A plot plan must be submitted.]



8/19/24

_____ Applicant Signature & Date

Section 5-4-5 Special Exception

(c) Special Exceptions. Upon written application filed with the Zoning Administrator, the Board of Adjustment may grant as a special exception any use specified as a special exception in the district regulations. In addition to the conditions required by district regulations, the Board shall apply the following standards in granting special exceptions:

(1) Adequate provisions shall be made for setbacks, fences, buffer or planting strips to protect adjacent properties from adverse impact of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion and similar factors.

(2) Vehicular traffic and pedestrian movement on adjacent roads must not be hindered or endangered.

(3) Off-street parking and loading area and the entrances and exits for the use must be adequate in terms of location, number, design and construction to serve the use without adverse impact on adjacent properties.

(4) The proposed use must not adversely affect the level of property values, the general character or general welfare of the nearby areas.

Board of Zoning Appeals

Application:

Question 2: Applicant will meet the standards in Section 5-4-5(c) of the Zoning Ordinance which are applicable to the proposed special exception in the following manner:

Section 5-4-5(c)(2) is applicable as we seek permission to use the drive-thru in a reasonable manner. However, there could be concern that vehicular traffic on adjacent roads, especially the entrance to the plaza from 14th street may be hindered.

Question 3: Applicant suggests that the following conditions be imposed to meet the standards in the Zoning Ordinance:

In order to ensure that there is no hinderance to traffic and the entrance to the plaza from 14th street remains open, we propose to take the following measures.

As a prerequisite, please see the plans site plan submitted with this application depicting the proposed direction of traffic as well as the drive-thru call box and window. We have also provided pictures to demonstrate the ample amount of space available.

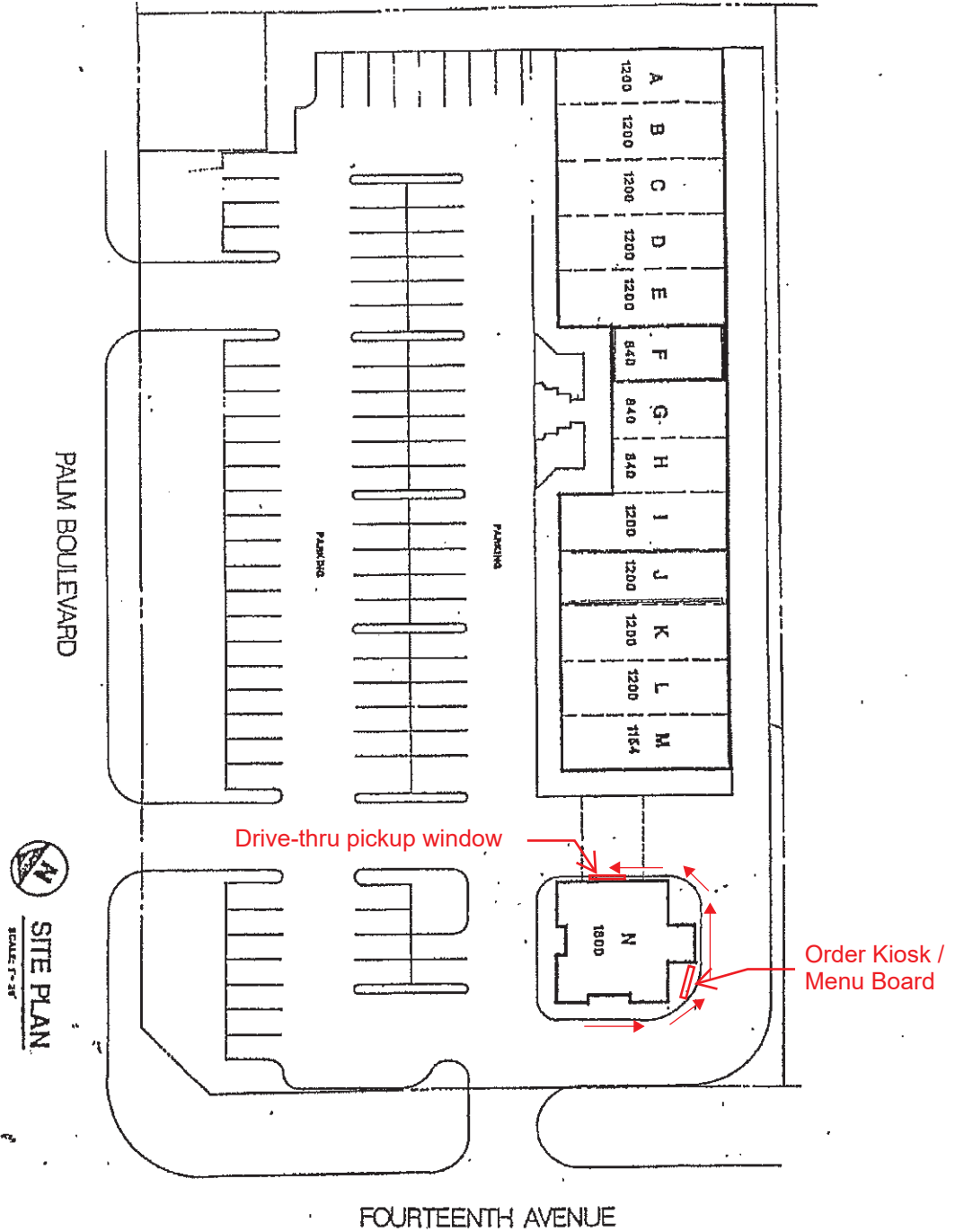
In the case of overflow, which would mean more than 8 cars are in line by our estimate, we would direct cars to proceed to the second and third drive-through lines that are marked in the pictures. On busy days, we would then have a dedicated employee running out orders or handing them out in a manner similar to what you see at Chick-fil-a. We believe this approach would allow space for at least 15 vehicles without blocking the exit to the center.

In addition, we will install a pedestrian crossing sign that would be placed after the pickup window to make cars that just received their order proceed with caution. We will also be adding a sign that says either "no cars after this point" or "do not block exit" at the entrance of the drive-thru in order to help prevent cars from stacking up past that point.

Lastly, if the above measures are not enough, on very busy days, we will ensure that all employees are aware of the potential backlog, and we will have an employee out front stopping any potential backlog from occurring.

EXHIBIT C

LAYOUT





LANE 1

LANE 2 -
Overflow





TENANT INTERIOR IMPROVEMENTS



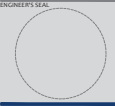
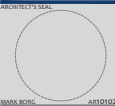
JEFF'S BAGEL RUN
at
CALIGO CROSSING
6970 N STATE ROAD 7
SUITE 105
COCONUT CREEK
FLORIDA | 33073



172 CATANIA WAY
ROYAL PALM BEACH, FL 33411
561-917-1128
ARCHITEX DESIGN STUDIO, LLC
www.ArchitexDesignStudio.com
MARK BORG, ARCHITECT
Mark@ArchitexDesignStudio.com
STEVEN VITEK, PRINCIPAL
Steven@ArchitexDesignStudio.com
384-972-0128



JEFF'S BAGEL RUN
at
CALIGO CROSSING
6970 N STATE ROAD 7
SUITE 105
COCONUT CREEK
FLORIDA | 33073



PROJECT NO: 2024-006
DRAWING NO: MB-24
DATE: 05-28-2024
REVISION: 01
ARCH REVIEW: EXISTING CONDITIONS

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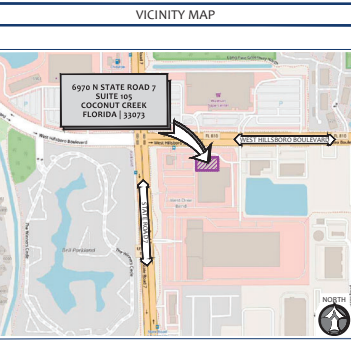
PROJECT INDEX TEAM

CLIENT: JEFF'S BAGEL RUN
4190 MILLENIA BLVD
ORLANDO, FLORIDA 32839
RYANN FROST
VP of DEVELOPMENT
T: 407.544.5011
E: Ryan@jeffsbagelrun.com

ARCHITECT: ARCHITEX DESIGN STUDIO, LLC.
172 CATANIA WAY
ROYAL PALM BEACH, FLORIDA 33411
MARK BORG, ARCHITECT E: mark@ArchitexDesignStudio.com
STEVEN VITEK, PRINCIPAL T: 561-917-1128
E: steven@ArchitexDesignStudio.com

ELECTRICAL PLUMBING MECHANICAL: LOUCKS ENGINEERING, INC.
FORT LAUDERDALE, FLORIDA 33431
20-20-19-1881
F: 354-538-1884
BOB LOUCKS T: 954-938-1881 x203
E: bob@louckseng.com
KELLIE WILLOVER E: kelle@louckseng.com

FRANCHISEE: VINCENTE POTOLICCHIO
E: emzap22@gmail.com



CODE RESEARCH

LEVEL OF ALTERATION	LEVEL II PER FBCC CHAPTER 4
HEIGHT OF BUILDING	1 STORY
TOTAL PROJECT AREA	1,400 SQ. FT.
PROJECT OCCUPANT LOAD	24 OCCUPANTS (SEE SHEET A110 FOR BREAKDOWN)
TYPE OF CONSTRUCTION	TYPE II-B - SPRINKLERED
FBCC OCCUPANCY CLASSIFICATION	GROUP B - BUSINESS
NFPA 101 CLASSIFICATION	MERCANTILE
CLASSIFICATION OF HAZARD	ORDINARY

REQUIRED FIRE SEPARATIONS PER ADJACENCY (SPRINKLERED BUILDING):
 EAST TENANT DEMISING WALL: EXISTING ADJACENT TENANT A1 & B BUSINESS TO MERCANTILE - NONE REQUIRED (FBCC 2020, TABLE 508.4)
 MERCANTILE TO MERCANTILE - NONE REQUIRED (NFPA 101, TABLE 6.1.1.4.1 (D))
 EXISTING EAST WALL IS FULL HEIGHT DRYWALL CONSTRUCTION ASSUMED 1 HOUR
 WEST TENANT DEMISING WALL: EXISTING ADJACENT TENANT BUSINESS OCCUPANCY
 EXISTING EAST WALL IS FULL HEIGHT 2-HOUR LABELED FIRE RATED PARTITION

PER 2020 PLUMBING CODE SEC 403.1.1 NUMBER OF OCCUPANTS OF EACH SEX, THE OCCUPANT LOAD SHALL BE COMPOSED OF 50 PERCENT OF EACH SEX, PER TABLE 403.1.1
 B-1 BUSINESS BATHROOMS FOR 25 OCCUPANTS

PLEASE NOTE:
 SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPANT LOAD IS 25 OR FEWER.
 PER FBCC PLUMBING SEVENTH EDITION (2020) 410.4 SUBSTITUTION WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAINS SHALL NOT BE REQUIRED IN THOSE RESTAURANTS

NO DRINKING FOUNTAIN PROVIDED
 ONE (1) ACCESSIBLE UNISEX TOILET ROOM PROVIDED. SEE PLANS
 ONE (1) SERVICE SINK IN BACK ROOM

CODE REFERENCE

ALL WORK TO BE PERFORMED IN ACCORDANCE WITH

- THE 2023 FLORIDA BUILDING CODE, EIGHTH EDITION
- THE 2023 FLORIDA BUILDING CODE ACCESSIBILITY, EIGHTH EDITION
- THE 2023 FLORIDA BUILDING CODE, EXISTING BUILDING, EIGHTH EDITION
- THE (2023) FLORIDA FIRE PREVENTION CODE, EIGHTH EDITION
- THE 2020 NATIONAL ELECTRICAL CODE (NEC)
- NFPA (2021), 8TH EDITION
- BOYNTON BEACH AMENDMENTS TO 2023 8TH EDITION FLORIDA BUILDING CODE
- PLEASE SEE ENGINEERING PLANS FOR CODE REFERENCES AS THEY PERTAIN TO MECHANICAL, ELECTRICAL AND PLUMBING CODES.

DEFERRED SUBMITTALS PER FBCC 107.3.4-1:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

1. LOW VOLTAGE, BY VENDOR THROUGH GENERAL CONTRACTOR
 2. SECURITY DRAWINGS, IF PROVIDED BY OTHERS

SCOPE OF WORK

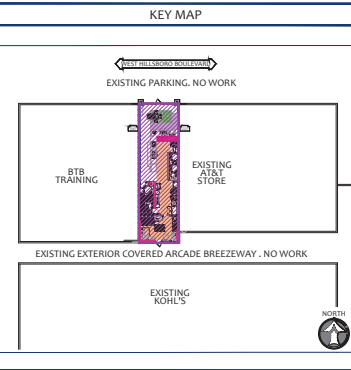
- ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS TO ACCOMMODATE A NEW RESTAURANT INTERIOR BUILD-OUT FOR JEFF'S BAGEL RUN FRANCHISE.
- NEW KITCHEN AREA, DINING ROOM AND BATHROOMS PER PLAN.
- NEW MECHANICAL UNITS PER PLAN.
- NEW ELECTRICAL SERVICE PER PLAN.
- NEW PLUMBING PER PLAN.
- NEW WOOD SHOP DRAWINGS TO BE SUBMITTED.

GENERAL CONTRACTOR NOTE

CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ALL RESPONSIBLE PARTIES IN WRITING IF THERE ARE ANY DISCREPANCIES THAT CAN AFFECT THE OUTCOME OF THE PROJECT.
 ARCHITEX DESIGN STUDIO, LLC AND THE ARCHITECT ASSUMES THE CONTRACTOR HAS REVIEWED AND WILL COMPLY WITH NOTIFYING THE ARCHITECT IMMEDIATELY.
 ARCHITEX DESIGN STUDIO, LLC AND THE ARCHITECT CAN NOT ASSUME ANY RESPONSIBILITY IF NOT NOTIFIED.

DRAWING INDEX

ARCHITECTURAL	
CVR	COVER SHEET
A000	GENERAL NOTES AND FAC DETAILS
D100	DEMOLITION PLANS
A100	CONSTRUCTION AND DIMENSION PLANS
A110	REFLECTED CEILING AND EGRESS PLANS
A120	FINISH PLAN, FINISH AND DOOR SCHEDULES
A130	EQUIPMENT PLAN, SCHEDULE AND NOTES
A200	INTERIOR ELEVATIONS AND ENLARGED BATHROOM PLAN
A600	CONSTRUCTION DETAILS
A601	CONSTRUCTION DETAILS
M.E.P. ENGINEERING	
M1	MECHANICAL PLAN
M1	MECHANICAL PLAN
M2	MECHANICAL DETAILS AND NOTES
E1	ELECTRICAL PLANS
E2	ELECTRICAL RISER, DETAILS AND NOTES
P1	PLUMBING PLANS
P2	PLUMBING PLANS
P3	PLUMBING DETAILS AND NOTES
P4	PLUMBING DETAILS AND NOTES



RESPONSIBILITIES MATRIX

NO	ITEM	CONTRACTOR		FRANCHISOR		FRANCHISEE		COMMENTS
		PROVIDE	INSTALL	PROVIDE	INSTALL	PROVIDE	INSTALL	
A1	FURNITURE							
B1	DINING ROOM CHAIRS		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B2	DINING ROOM TABLES		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B3	OUTDOOR CHAIRS		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B4	OUTDOOR TABLES		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B	COMMERCIAL KITCHEN EQUIPMENT		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B5	COMMERCIAL KITCHEN EQUIPMENT		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B6	WALK IN COOLERS		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
B7	BLACK IRON		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
C	LIGHT FIXTURES		x		x			CONTRACTOR TO PROVIDE AND INSTALL
C8	DINING ROOM LIGHT FIXTURES		x		x			CONTRACTOR TO PROVIDE AND INSTALL
C9	KITCHEN LIGHT FIXTURES		x		x			CONTRACTOR TO PROVIDE AND INSTALL
D	LOW VOLTAGE		x		x			CONTRACTOR TO PROVIDE AND INSTALL
D1	POINT OF SALE SYSTEM		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
D2	SOUND SYSTEM		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
D3	SECURITY CAMERA SYSTEM		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
D4	HOME RUN DEVICE		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
E	GRAPHIC'S WALL DECOR		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
F	MURA		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
F1	WALK BEHINDS		x		x			FRANCHISEE TO PROVIDE AND CONTRACTOR TO INSTALL
F2	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F3	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F4	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F5	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F6	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F7	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F8	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F9	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F10	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F11	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F12	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F13	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F14	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F15	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F16	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F17	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F18	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F19	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F20	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL
F21	WALK BEHINDS		x		x			CONTRACTOR TO PROVIDE AND INSTALL

COVER SHEET

CVR

EXISTING EXTERIOR COVERED ARCADE, NO WORK

EXISTING EXTERIOR COVERED ARCADE, NO WORK

EXISTING SIDEWALK, NO WORK

EXISTING SIDEWALK, NO WORK

DEMOLITION PLAN LEGEND

- EXISTING CEILING GRID AND TILE TO BE REMOVED IN THEIR ENTIRETY.
- EXISTING LIGHT FIXTURES TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
- EXISTING CEILING FAN TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
- EXISTING TRACK LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
- EXISTING SCENCE LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.

DEMOLITION CEILING PLAN 2

DEMOLITION FLOOR PLAN 1

DEMOLITION PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS SET BY THE LOCAL, STATE AND FEDERAL AGENCIES.
2. THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUIRED.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE PROJECT AREA PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS SET BY THE LOCAL, STATE AND FEDERAL AGENCIES.
4. ALL REMOVAL OF MATERIALS SHALL BE PERMITTED BY THE CLIENT, LANDLORD, LOCAL, STATE AND FEDERAL AGENCIES.
5. DISCONNECT ELECTRICAL CIRCUITS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS SET BY THE LOCAL, STATE AND FEDERAL AGENCIES.
6. REMOVE ALL EXISTING PERIMETER PARTITIONS AS INDICATED ON THE CEILING PLAN FROM AREA ALL EXISTING TRACK LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
7. REMOVE ALL EXISTING TRACK LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
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31. REMOVE ALL EXISTING TRACK LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.
32. REMOVE ALL EXISTING SCENCE LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.

DEMOLITION PLAN LEGEND

- KEY NOTE SEE DESIGNATED # FOR MORE INFORMATION
- DENOTES DOOR TO BE REMOVED
- DENOTES EXISTING CONSTRUCTION TO REMAIN
- DENOTES RATED DEMISING OR TENANT SEPARATION WALL
- DENOTES PROPOSED CONSTRUCTION TO BE REMOVED

DEMOLITION PLAN SPECIFIC NOTES

1. EXISTING PERIMETER WALLS AND STOREFRONT GLAZING AND PARTITIONS TO BE REMOVED IN THEIR ENTIRETY.
2. EXISTING INTERIOR WALLS, WALL TILE AND BRICK VENEER CONSTRUCTION TO BE REMOVED IN THEIR ENTIRETY WHERE INDICATED BY RED DASHED LINES. CONSTRUCTION TO REMAIN WHERE INDICATED BY RED SOLID LINES. CONSTRUCTION TO BE REMOVED WHERE INDICATED BY RED DASHED LINES. CONSTRUCTION TO REMAIN WHERE INDICATED BY RED SOLID LINES.
3. REMOVE EXISTING RESTROOM FIXTURES AND WALLS AS REQUIRED.
4. REMOVE ALL EXISTING PLUMBING AND ELECTRIC TO BE REMOVED AND PROPERLY DISPOSED OF. COORDINATE WITH NEW ELECTRICAL AND PLUMBING FOR ANY POSSIBLE REUSE.
5. EXISTING ELECTRICAL PANEL TO REMAIN. PROTECT FROM DEMOLITION.
6. REMOVE ALL UNUSED COMMUNICATIONS SYSTEMS AND LABELING.
7. REMOVE ALL EXISTING FLOOR FINISHES AND FLOORING. REMOVE DOOR SILL AND LEAVE IN LEVEL CLEAN CONDITION READY FOR NEW FLOOR FINISH.
8. REMOVE ALL EXISTING CEILING, SCOFFS, CEILING FANS AND LIGHTS TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED. COORDINATE WITH THE FIRE ALARM TROUBLESHOOTING SEPARATE PERMITS BY THE LOCAL, STATE AND FEDERAL AGENCIES.
9. REMOVE ALL EXISTING TRACK LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED. COORDINATE WITH THE FIRE ALARM TROUBLESHOOTING SEPARATE PERMITS BY THE LOCAL, STATE AND FEDERAL AGENCIES.
10. REMOVE ALL EXISTING SCENCE LIGHTING TO BE REMOVED AND PROPERLY RECYCLED AND DISCARDED.

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JEFF'S BAGEL RUN
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6970 N STATE ROAD 7
SUITE 105
COCOA CREEK
FLORIDA | 32937

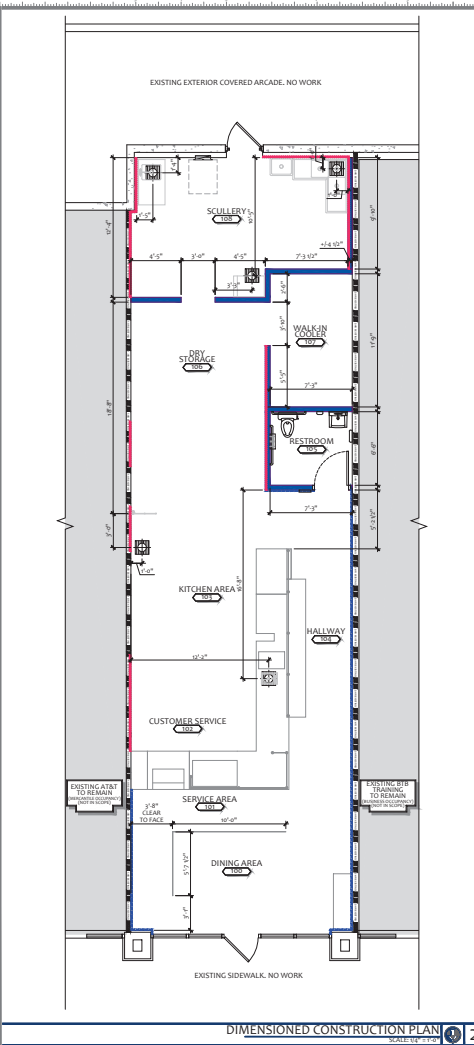
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DRAWN BY: MB
CHECKED BY: SW

DATE: 05-14-2024 ARCH REVIEW
DATE: 05-14-2024 EXISTING CONDITIONS

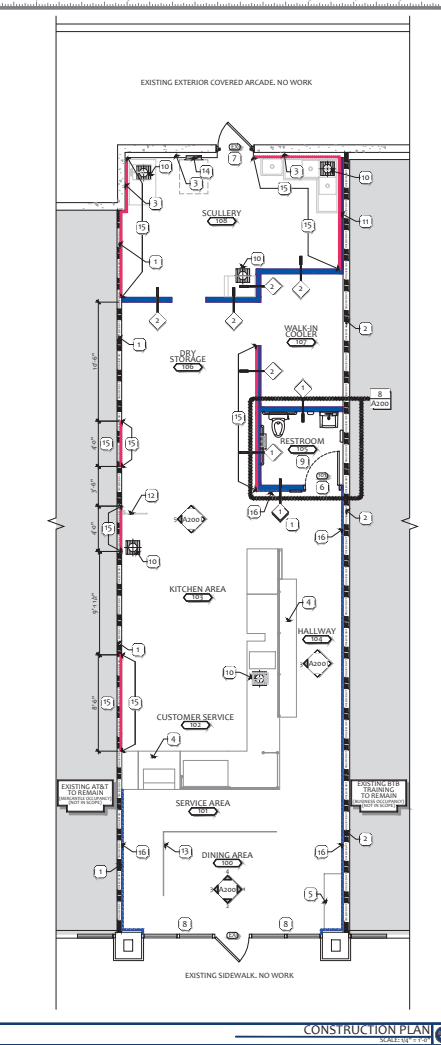
ARCHITECT: ARCHITECT DESIGN STUDIO
MEP ENGINEER: LUCKS ENGINEERING
STRUCTURAL:

DEMOLITION PLANS

D100



- GENERAL NOTES
1. ALL WORK BY TRADES TO BE COMPLETED ACCORDING TO THE...
2. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION...
3. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO...
4. SUBMIT A COPY OF THE CONTRACT DOCUMENTS...
5. AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT (AIA) A191...
6. ALL DIMENSIONS ARE NOMINAL TO FACE OF STRUCTURE...
7. ALL WINDOW AND DOOR SIZES ARE NOMINAL...
8. CONTRACTOR SHALL VERIFY MANUFACTURER'S ACTUAL AND OPENING DIMENSIONS...
9. CONTRACTOR'S SCHEDULE WORK INCLUDES ALL CONSTRUCTION NECESSARY...
10. THE EXTENT OF THE RENOVATION WORK MAY NOT BE LIMITED TO THE DETAILS...
11. IT IS NOT IMPLIED IN ANY WAY WHATSOEVER THAT THE ENGINEER OR ARCHITECT...
12. REFER TO PLUMBING, ELECTRICAL AND MECHANICAL DRAWINGS FOR CHASE...
13. MODIFICATIONS OR SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN...
14. SUBCONTRACTORS TO SUBMIT SHOP DRAWING TO OWNER FOR ARCHITECT'S...
15. SHOULD THE SCHEDULE OF WORK FOR ANY REASON NOT BE FULLY INDICATED ON...
16. PRIOR TO THE SUBMISSION OF ANY SHOP THE SUBCONTRACTOR SHALL POST...
17. TO AVOID THE PROJECT APPROVALS IN THE FINISH SCHEDULE...
18. THE SUBCONTRACTORS SHALL REFER TO THE APPROPRIATE SHOP DRAWINGS...
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING...
20. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH...
21. LOCATION AND VERIFY LOCATION OF ALL OPENINGS, EMBEDDED ITEMS AND...
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND...
23. PREPARE ALL FLOOR SURFACES FOR NEW FLOOR FINISHES AS REQUIRED...
24. PREPARE ALL WALL SURFACES FOR NEW WALL FINISHES...
25. OBTAIN APPROVALS FOR THE DESIGN AND PERMANENT INSTALLATION...
26. COOLER AND FREEZER WALL DAM PROTECT PLASTIC FLAME SPREAD INDEXES OF 0.50...
27. ALL GLASSING OF HAZARDOUS LOCATION SUCH AS THE SHOWER ENCLOSURES, WINDOWS, SHALL BE...
28. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL PROVIDE THE...
29. TO VERIFY EXISTING OR PROVIDE NEW APPROVED ADDRESS NUMBERS...
30. APPROVE WATERWORKS RESISTANT BACKER BOARD IN LIEU OF CEILING BOARD AT ALL...
31. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER...
32. INFILTRATION.



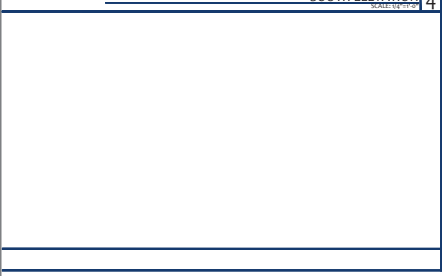
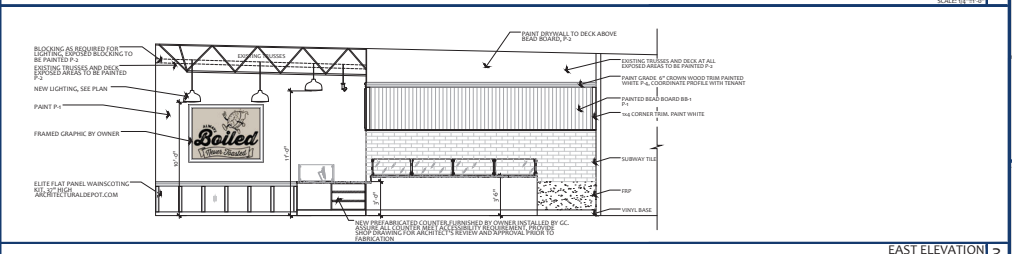
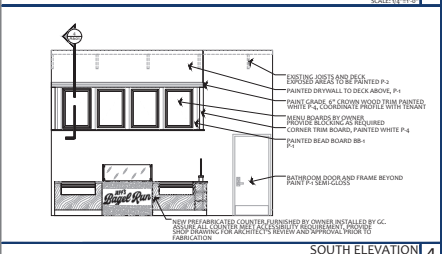
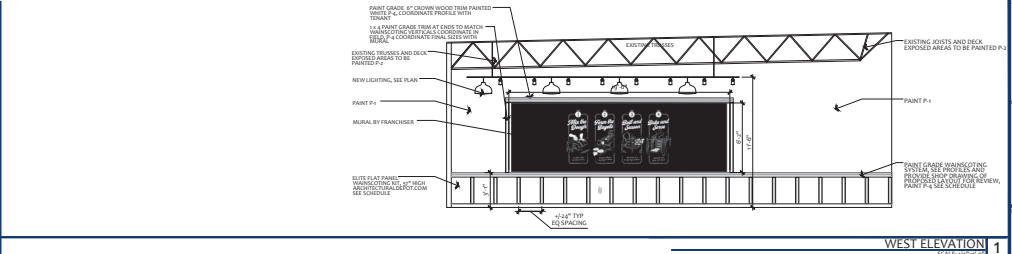
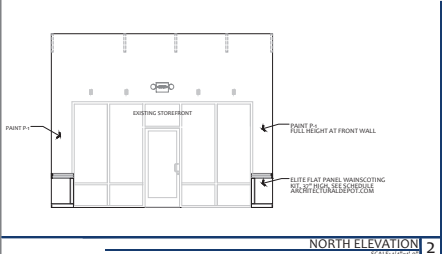
- CONSTRUCTION PLAN GENERAL NOTES
1. ALL NEW WALLS TO BE BUILT, FINISHED, AND SANDED SMOOTH READY TO RECEIVE...
2. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION...
3. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO...
4. SUBMIT A COPY OF THE CONTRACT DOCUMENTS...
5. AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT (AIA) A191...
6. ALL DIMENSIONS ARE NOMINAL TO FACE OF STRUCTURE...
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CONSTRUCTION PLAN LEGEND
NAME ROOM NAME
ROOM NUMBER
TRIP LIGN.
DOOR DETENON NEW 3'-0" X 8'-0" DOOR.
PARTITION TYPE. SEE FLOOR PLAN FOR NUMBER.
ELEVATION REFERENCE NUMBER
INDICATES SHEET NUMBER

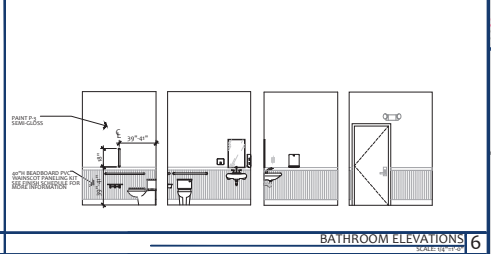
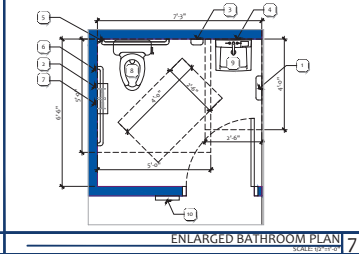
CONSTRUCTION PLAN SPECIFIC NOTES
1. EXISTING FULL HEIGHT PARTITION TO REMAIN, PATCH AND...
2. EXISTING 4 HOUR WALL, GC TO PROTECT ALL OPENING, PATCH AND...
3. EXISTING FURRED OUT EXTERIOR WALL, GC TO PATCH AND...
4. NEW PREFABRICATED FINISHED MILL WORK COUNTER AND...
5. NEW MILLWORK COUNTER, FINISHED BY OWNER AND...
6. NEW PAINT GRADE 1/2" X 7/8" SOLID WOOD DOOR WITH...
7. EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN...
8. EXISTING ENTRY ALUMINUM GLASS DOOR AND FRAME TO...
9. NEW ACCESSIBLE TOILET ROOM, SEE SHEET A100 AND...
10. NEW FLOOR SINK, REFER TO ENGINEERING PLANS FOR...
11. NEW WALL MOUNTED WATER SUPPLY FAUCET, SEE...
12. NEW WALL MOUNTED WATER SUPPLY FAUCET, SEE...
13. NEW 1/2" WOLDED STEEL BAR POWDER COATED CLEAR...
14. ELECTRICAL PANEL LOCATION, SEE ENGINEERING PLANS...
15. NEW LIFT FLAT PANEL WALKING KIT, 1/2" HGS, REFER TO...
16. REFER TO ARCHITECTURAL DEPT. FOR MORE INFORMATION.

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SUITE 105
COCONUT CREEK
FLORIDA 33073
PROJECT NO: 2024-050
DATE: 05-29-2024

A100



- GC TO PROVIDE THE FOLLOWING AT THE NEW TOILET ROOM
- 1 SURFACE MOUNTED STAINLESS STEEL PAPER TOWEL DISPENSER, BOBICK B-340 OR APPROVED EQUAL
 - 2 SURFACE MOUNTED TOILET PAPER HOLDER, BOBICK B-340 OR APPROVED EQUAL
 - 3 SURFACE MOUNTED SOAP DISPENSER, BOBICK B-840 OR APPROVED EQUAL
 - 4 SURFACE MOUNTED ACCESSIBLE CHANNEL FRAMED MIRROR 40" TO BOTTOM OF GLASS.
 - 5 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS W/ CONCEALED MOUNTINGS
 - 6 SHOWER BACKING IN WALL, SEE GRAB BAR DETAIL SHEET ADDO FOR TYPICAL BACKING IN BATHROOMS
 - 7 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 8 SHOWER BACKING IN WALL, SEE GRAB BAR DETAIL SHEET ADDO FOR TYPICAL BACKING IN BATHROOMS
 - 9 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 10 WATER CLOSET FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC, HAND OPERATED FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND
 - 11 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 12 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 13 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 14 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
 - 15 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
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 - 32 1/2" x 6" x 1/2" STAINLESS STEEL GRAB BARS CRICKLED MOUNTINGS
- PER PAR. 601.3, WHERE THE TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND CLEAR FLOOR SPACE COMPLYING WITH 301.5 IS PROVIDED, A TOILET OR BATHING ROOM SHALL BE PROVIDED FOR EACH TOILET ROOM OR BATHING ROOM. THE TOILET OR BATHING ROOM SHALL BE INSTALLED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE.
- SEE SHEET ADDO FOR MORE INFORMATION ON BATHROOM ACCESSORIES ARE FURNISHED AND INSTALLED BY CONTRACTOR



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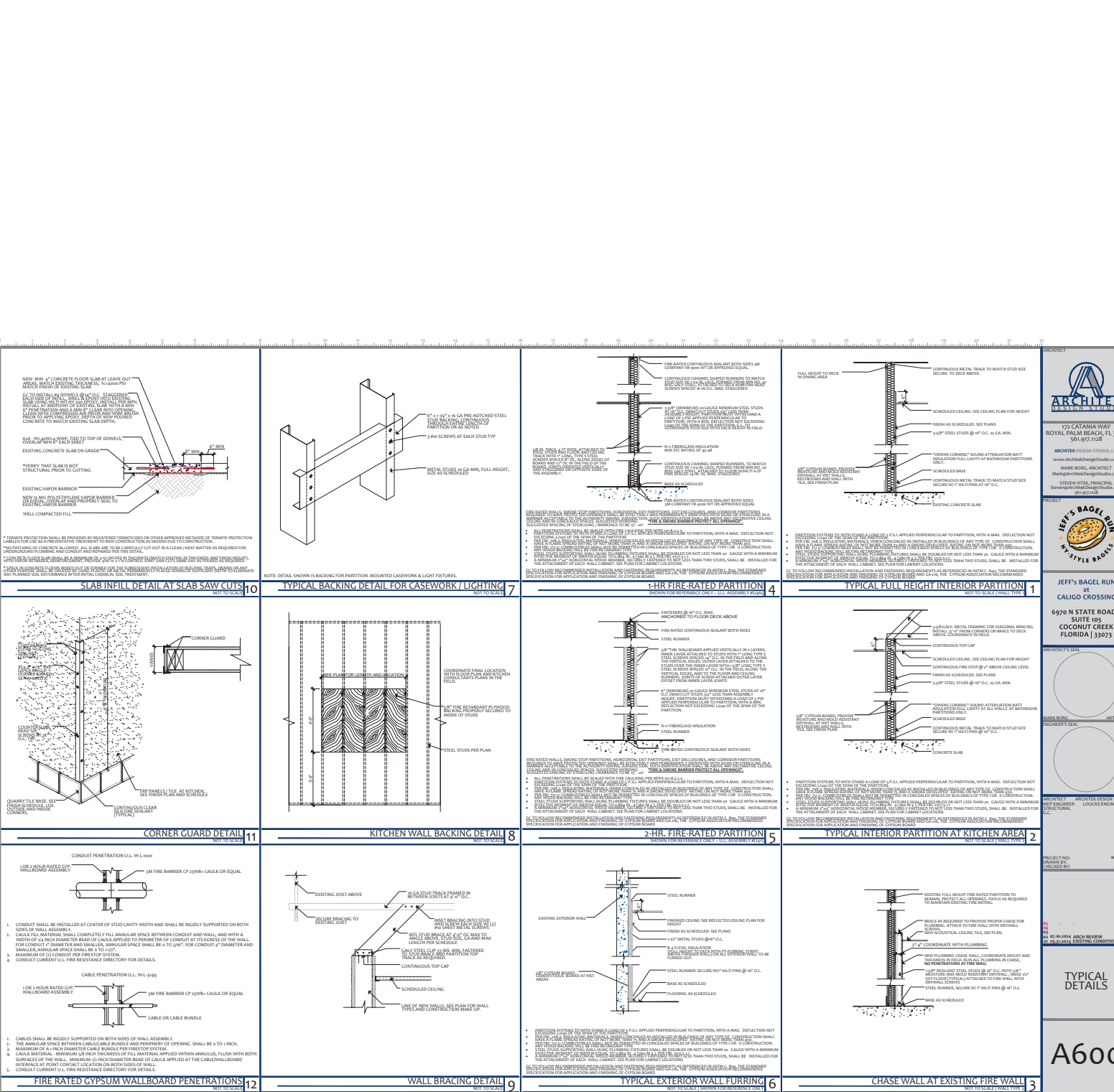
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JEFF'S BAGEL RUN
AT CALIGO CROSSING
6970 N STATE ROAD 7
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COCONUT CREEK
FLORIDA | 33073

PROJECT NO: 2024-006
DRAWN BY: MB
CHECKED BY: SV

ELEVATIONS & ENLARGED RESTROOM PLANS AND NOTES

A200



ARCHITECT

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JEFF'S BAGEL RUN
STYLE BAGELS

JEFF'S BAGEL RUN
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FLORIDA | 33073

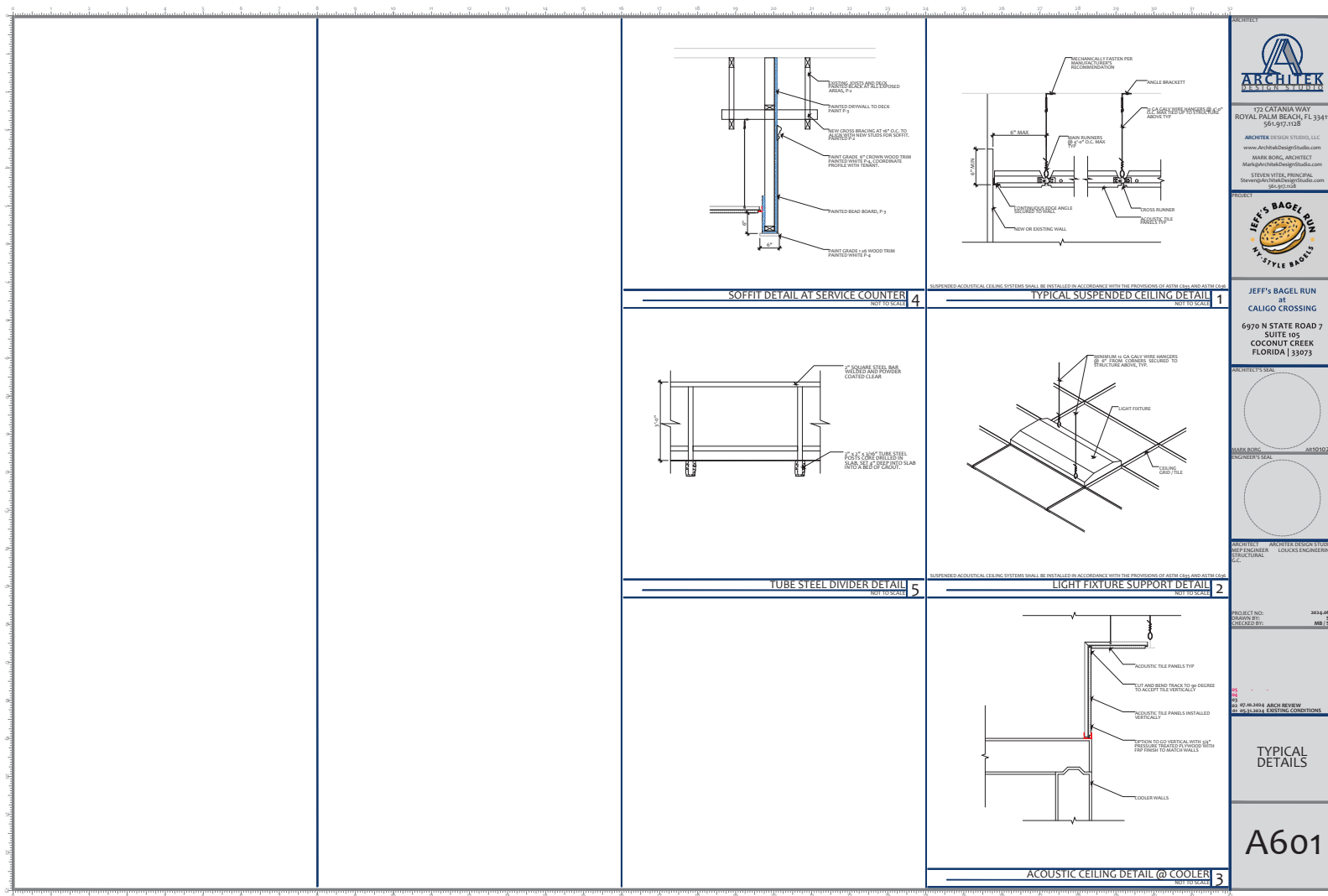
PROJECT NO: 2024-066
DRAWN BY: MB
CHECKED BY: MB

DATE: 02-28-2024 EXISTING CONDITIONS

PROJECT: ARCHITECT: ARCHITECT DESIGN STUDIO
MEP ENGINEER: LOCKS ENGINEERING
STRUCTURAL: ARCHITECT

TYPICAL DETAILS

A600



ARCHITECT

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PROJECT

JEFF'S BAGEL RUN
 AT-STYLE BAGELS

JEFF'S BAGEL RUN
 at CALIGO CROSSING
 6970 N STATE ROAD 7
 SUITE 105
 COCONUT CREEK
 FLORIDA | 33073

ARCHITECT'S SEAL

MARK BORG A11010727

ENGINEER'S SEAL

ARCHITECT ARCHITECT DESIGN STUDIO
 MEET ENGINEER
 LOUCKS ENGINEERING
 STRUCTURAL, LLC

PROJECT NO. 2024-066
 DRAWN BY: MB
 CHECKED BY: MB

DATE: 05-14-2024 ARCH REVIEW
 BY: 05-19-2024 EXISTING CONDITIONS

TYPICAL DETAILS

A601

Appeal Number: 24-16

Applicant: Joseph Griffith

Address: 2610 Palm Boulevard

Request:

The applicant is appealing a determination made by the Zoning Administrator concerning a proposed staircase in the side setback. The Zoning Administrator denied the proposed staircase due to the encroachment into the 10' side setback and encroachment past the maximum building line. The applicant's full appeal is attached and states that the Zoning Administrator was arbitrary and capricious in his determination, as an HVAC stand was previously approved within the side setback of this same address. The applicant was informed that the HVAC stand has been previously reviewed and approved as a pre-existing nonconforming structure, which is allowed to remain in its original location. The applicant is only appealing the encroachment into the side setback and not the encroachment past the maximum building line. The Zoning Administrator's denial letter is attached.

Pertinent Codes:

Sec. 5-4-32(6):

Minimum yard requirements. Minimum yard requirements in the SR-1 single-family residential district are as follows:

- a. Front yard: thirty feet (30').
- b. Side yard: ten feet (10').
- c. Rear yard: thirty feet (30').

Exception: minimum yard requirements for lots with an area less than seventeen thousand five hundred (17,500) square feet.

- a. Front yard: twenty-four feet (24').
- b. Side yard: ten feet (10').
- c. c. Rear yard: twenty-four feet (24').

Sec. 5-4-51(3)(a):

Additional regulations. Within the P-2 preservation overlay zone, the following additional regulations shall apply:

- a. Except as expressly allowed in subsection (3)b and c of this section, no structure shall extend seaward of the maximum building line shown and labeled as such on that certain plat prepared by E.M. Seabrook, Jr., C.E. and L.S., dated January 8, 1988, and entitled "FINAL PLAT, CITY OF ISLE OF PALMS, CHARLESTON COUNTY, S.C." and duly recorded at the County RMC Office on February 16, 1988, in Plat Book BQ, at Page 11; said plat is incorporated herein and made a part hereof by reference thereto.
- b. One dune walkover per lot shall be allowed, so long as it complies with all applicable provisions of this Code and OCRM regulations.
- c. One swimming pool per lot shall be allowed, so long as it complies with the applicable provisions of this Code and OCRM regulations.

Sec. 5-4-47(b):

Subject to all other applicable provisions of this chapter and other City ordinances, an existing structure, including stairs, which does not comply with the zoning district setback requirements of this chapter may be altered or renovated so long as no part of the structure extends beyond the original footprint of the encroachment.

Section 5-4-12(f):

Sills, belt course, window air conditioning units, chimneys and cornices may project into a required yard by not more than two feet (2'). Steps may project into a required front yard or rear yard by not more than five feet (5').

Section 5-4-5(a):

1. Pursuant to S.C. Code 1976, § 6-29-780, the City Board of Zoning Appeals is hereby established. Provisions relating to organization, composition and functions of the Board are set forth in [title 1](#), [chapter 9](#), article B. Appeals to the Board of Zoning Appeals may be taken from any order or decision of the Zoning Administrator by any person aggrieved or by any officer, department, or board of the City. Unless otherwise provided by rules of the Board, an appeal must be

made by written application setting forth the grounds of appeal and filed with the Zoning Administrator within thirty (30) days from the date of the order or decision appealed from. The Zoning Administrator shall promptly forward to the Board all documents constituting the record upon which the action appealed from was taken. The Board shall fix a reasonable time for the hearing of the appeal or other matter referred to it, and give at least fifteen (15) days' public notice thereof in a newspaper of general circulation in the community and also due notice to the parties in interest, and decide the same within a reasonable period of time. At the hearing, any party may appear in person or by agent or attorney. The Board shall adopt rules of procedure for the conduct of hearings. All final decisions and orders of the Board shall be in writing and permanently filed in the office of the Board as a public record. All findings of fact and conclusions of law must be separately stated in final decisions or orders of the Board, which must be delivered to parties in interest by certified mail.

2. An appeal stays all legal proceedings in furtherance of the action appealed from, unless the officer from whom the appeal is taken certifies to the Board, after the notice of appeal has been filed with him, that by reason of facts stated in the certificate a stay would, in his opinion, cause imminent peril to life and property. In such case, proceedings may not be stayed other than by a restraining order which may be granted by the Board or by a court of record on application, on notice to the officer from whom the appeal is taken, and on due cause shown.

Board of Zoning Appeals
Information Sheet
City of Isle Palms

Date Filed: 6/21/2024

Appeal Number _____

Instructions:

This form must be completed for a hearing on appeal from action of a zoning official, application for a variance, or application for a special exception. Entries must be printed or typewritten. If the applicant is not the owner of the property, all must sign.

Property Address 2610 PALM BLVD Lot 9 + 9A

Block _____ TMS 571-09-00-180

Area of Lot 2 43,838 Zoning Classification _____

Applicant(s) Name JOSEPH P. GRIFFITH, JR.

Address 2610 PALM BLVD.

Telephone 843.810.8172

Interest (i.e. Owner, Owner's attorney, Architect, etc) OWNER

Owner(s) (if different from applicant) _____

Name _____

Address _____

Telephone _____

I (We) certify that this application and all supporting documents attached are correct.

Applicant signature/date Joseph P. Griffith, Jr. 6/21/2024

Owner signature (if different from applicant): date _____

Board of Zoning Appeals
Appeal from Action of Zoning Administrator
City of Isle of Palms
Form 2

Date Filed: 6/21/2024

Appeal Number: _____

1. Applicant hereby appeals to the Board of Zoning Appeals from the action of the Zoning Administrator affecting the property described in the notice of Appeal (Form 1) on the grounds that:

granting denial of an application for a permit to CONSTRUCT STAIRS TO REAR PORCH ON LEFT SIDE OF HOUSE.

was erroneous and contrary to the provisions of the zoning ordinance; or other action or decision of the Zoning Administrator was erroneous as follows:

(A) SEE ATTACHMENT.

2. Applicant is aggrieved by the action or decision in that:

SEE ATTACHMENT.

3. Applicant contends that the correct interpretation of the zoning ordinance as applied to the property is:

TO ALLOW CONSTRUCTION OF STAIRS TO REAR PORCH ON LEFT SIDE OF HOUSE.

4. Applicant requests the following relief:

PERMIT ALLOWING CONSTRUCTION OF STAIRS TO REAR PORCH ON LEFT SIDE OF HOUSE AS REQUESTED.

Joseph Guffetti 6/21/2024
Signature of Applicant & Date

Attachment to Form 2

Questions 1(A) + 2 Response:

1. The requested stairs would be 48" in width which is less than the HVAC wood stand (57" in width) which has already been approved by the Zoning Administrator ("ZA") and thus have less of an impact on setback than the existing HVAC stand, and the ZA's decision was thus arbitrary and capricious and in violation of Fifth and Fourteenth Amendments to the U.S. Constitution and equivalent State protections.
2. The requested stairs 48" width is a minor (de minimis) infringement of the side setback line.
3. The neighbors on both sides of Owner's lot do NOT object to the requested stairs.
4. The requested stairs will not be visible from the street.
5. The applicant is aggrieved by the ZA's denial of the requested stairs because the stairs provide an additional entrance/exit to the residence which enhances the safety, health and well-being for occupants, and the decision was arbitrary and capricious as set forth herein.
6. Placing requested stairs on the left side of house preserves fire lines on the right side of house.
7. The ZA's decision to deny the requested stairs due to the side setback was arbitrary and capricious in that similar setback infringements have been allowed or ignored by the Isle of Palms ("IOP"), in violation of Fifth and Fourteenth Amendments to the U.S. Constitution and equivalent State protections.
8. The ZA arbitrarily and capriciously set the rear setback line to preclude proposed stairs to the rear porch, in violation of Fifth and Fourteenth Amendments to the U.S. Constitution and equivalent State protections.
9. The requested stairs do not adversely affect the nature, character or parking of the neighborhood nor property values of the same.

6/21/2024
Joseph Saffell

LOT 10A
SECTION C 1 LOT
10A
 JAMES D. & MYRNA C.
 JOSEPH
 TMS NO. 571-09-00-218

LOT 8A
SECTION C 1 LOT
8A
 JOSEPH P GRIFFITH
 TMS NO. 571 09 00 216

SECTION C 1 LOT 10
 JAMES D. & MYRNA C.
 JOSEPH
 TMS NO. 571-09-00-181

SECTION C 1 LOT
9
 JOSEPH P. GRIFFITH, JR.
 TMS NO. 571-09-00-180
 BOOK H174, PAGE 775
 PLAT BOOK F, 27
 AREA = 0.179 AC/7,778
 S.F.

SECTION C 1 LOT
8
 JOSEPH P GRIFFITH
 TMS NO. 571 09 00 179

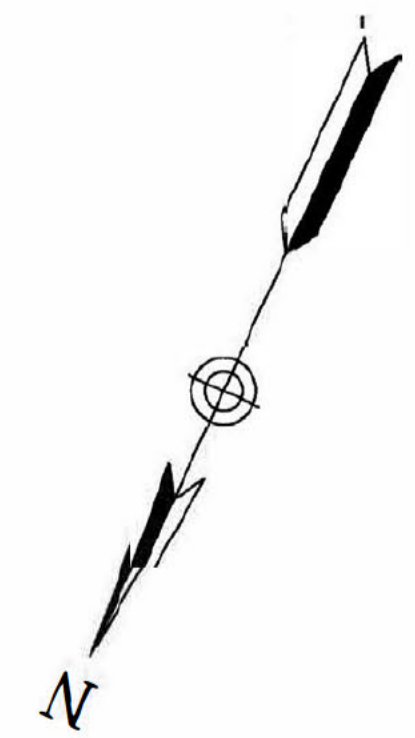
PROPOSED COVERAGE

TOTAL LOT AREA	42,997 SQFT
1ST FLOOR	1,714 SQFT
PORCHES	392 SQFT
DECK	141 SQFT
STAIRS	152 SQFT
DRIVEWAY - (PAVERS)	795 SQFT
MAX. COVERAGE	5,250 SQFT
TOTAL COVERAGE	3,194 SQFT
TOTAL COVERAGE %	7.43 %

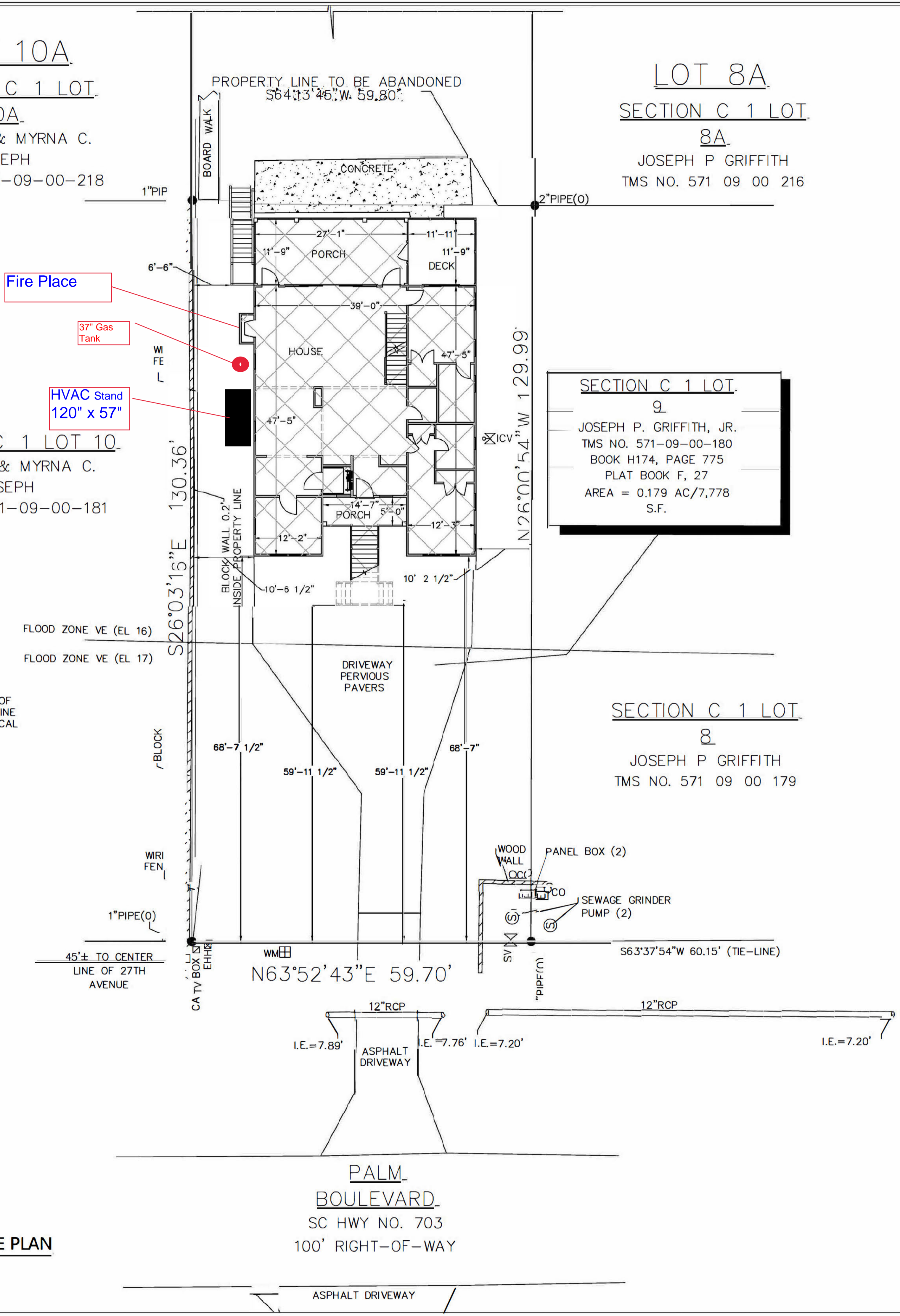
DRIVEWAY

TOTAL AREA	1,590 SQFT
PAVERS (50% OF TOTAL AREA)	795 SQFT

APPROXIMATE LOCATION OF FLOOD ZONE BOUNDARY LINE PER SCALING AND GRAPHICAL PLOTTING ONLY



PROPOSED SITE PLAN
 SCALE 1"=10'



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COASTAL CREEK DESIGN
 50 BELLEHALL PARKWAY, UNIT 20
 MOUNT PLEASANT, SC 29664
 843-514-1750

Project: **STAIRS PLAN**
2610 PALM BLVD.
 Sheet Title: **PROPOSED SITE PLAN**

D.P. in Charge
 A#
 Job Captain
 B#
 Drawn By
 C#
 Date Drawn
 4/15/2024
 Issued for Pricing
 E#
 Issued for Perm

Revisions

No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date

Issue Date G#

A0c

INDEX

- A - TITLE SHEET, SPECIFICATIONS
- A0c - PROPOSED SITE PLAN
- A1 - GROUND FLOOR PLAN
- A2 - 1ST FLOOR PLAN
- A3 - REAR ELEVATION
- A4 - LEFT ELEVATION
- A5 - RIGHT ELEVATION

2610 PALM BLVD. ISLE OF PALMS, SC TMS NO. 571-09-00-180

ABBREVIATIONS

- TYP.: TYPICAL
- DTL.: DETAIL
- DBL.: DOUBLE
- PKT.: POCKET
- T.: TEMPERED
- E.: EGRESS
- CO.: CENTER
- P.T.: PRESSURE TREATED
- REF.: REFRIGERATOR
- DW: DISHWASHER
- MW: MICROWAVE
- PREFIN.: PREFINISHED
- ALUMN.: ALUMINUM
- CONC.: CONCRETE
- ARCH.: ARCHITECTURAL
- C.J.: CEILING JOIST
- R.R.: ROOF RAFTER
- G.W.B.: DRYWALL
- G.Y.P.: DRYWALL
- B.F.E.: BASE FLOOD ELEVATION
- WP.: WATERPROOF
- CONT.: CONTINUOUS
- A.C.: ABOVE COUNTER
- A.F.F.: ABOVE FINISH FLOOR
- ELEV.: ELEVATION
- F.P.: FROST PROOF



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COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
MOUNT PLEASANT, SC 29464
843-514-1790

NOTES AND SPECIFICATIONS:

1. G.C. SHALL ENSURE COMPLIANCE WITH ALL NATIONAL, STATE & LOCAL CODES. (IRC 2021).
2. ALL EXPOSED EXTERIOR WOOD SHALL BE PRESSURE TREATED.
3. ALL DECKS & PORCHES MUST SLOPE A MINIMUM OF 1/4" PER FOOT AWAY FROM THE HOUSE AND BE FLASHED ACCORDING TO GENERAL PRACTICES. INSTALL 3" WIDE STRIP OF BITUMINUS WATERPROOFING TO SHEATHING AT ALL DECK TO HOUSE CONNECTIONS PRIOR TO INSTALLING DECK JOISTS, BEAMS OR LEDGERS.
4. EXTERIOR FIRST FLOOR PORCHES & DECKS TO BE MINIMUM IPE DECKING (UNLESS NOTED OTHERWISE ON ARCHITECTURAL FLOOR PLANS) 5/4" THICK SAND & SEAL AT COMPLETION OF CONSTRUCTION.
5. G.C. SHALL PRETREAT SOIL FOR ALL SUBTERRANEAN INSECTS INCLUDING FORMOSEN TERMITES.
6. G.C. SHALL KEEP JOBSITE CLEAN OF DEBRIS ON A WEEKLY BASIS. CLEAN ALL SUB-FLOOR & STUD SPACINGS PRIOR TO INSULATION. CLEAN AGAIN BEFORE INTERIOR PAINTING AND PROVIDE A FINAL CLEANING FOR MOVE-IN.



REAR ELEVATION
SCALE 1/4" = 1'

GENERAL NOTES

DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND THEREFORE NEVER BE SCALED. WRITTEN OR NOTED DIMENSIONS SHALL BE FOLLOWED TO INDUSTRY STANDARDS. WHERE DIMENSIONS ARE NOT FOUND OR ARE UNCLEAR, CONTRACTOR SHALL CONTACT DESIGNER FOR CLARIFICATION.

CONTRACTOR SHALL CHECK DRAWINGS AND SPECIFICATIONS AND NOTIFY DESIGNER OF OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF ANY WORK.

CONTRACTOR SHALL INSURE ALL WORK COMPLIES WITH APPLICABLE CODES, REGULATIONS, AND LAWS.

CONTRACTOR SHALL TAKE ANY MEASURE NECESSARY TO PROTECT ADJACENT PROPERTIES AND STRUCTURES ON PROJECT PROPERTY NOT SPECIFICALLY STATED TO BE MODIFIED OR REMOVED. CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION, AT NO CHARGE TO HOME OWNER OR DESIGNER.

CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED FOR COMPLETED PROJECT, INCLUDING BUT NOT LIMITED TO CONNECTIONS TO PUBLIC UTILITIES, WELLS, SEPTIC SYSTEMS WHERE APPLICABLE.

IF CONTRADICTIONS ARE FOUND BETWEEN SPECIFICATIONS AND DRAWINGS AFTER THE START OF WORK, EITHER APPLICATION MAY BE STIPULATED BY THE DESIGNER AT NO ADDITIONAL CHARGE TO THE HOME OWNER OR DESIGNER.

CLARIFICATION DETAILS REQUESTED BY CONTRACTOR AFTER START OF WORK SHALL BE COMPLIED WITH AS PART OF BASE BID.

REQUESTS FOR SUBSTITUTIONS OF METHODS OR MATERIALS SHALL BE SUBMITTED TO DESIGNER IN WRITING PRIOR TO THE START OF RELATED WORK. WHERE COST DIFFERENCES OCCUR, QUOTES OR ESTIMATES SHALL BE SUBMITTED.

ALL CHANGE ORDER REQUESTS SHALL BE APPROVED IN ADVANCE AND BE ACCOMPANIED BY QUOTES OR ESTIMATES.

ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURER SPECS. SEE MANUFACTURER'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS. REFER TO MFR.. R.O. PRIOR TO FRAMING.

ALL EXTERIOR MATERIALS - SIDING AND TRIM, STUCCO CONVENTIONAL AND ROOFING - SHALL BE INSTALLED PER MANUFACTURER'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR PROJECT COMPLETION.

CONTRACTOR TO PROVIDE "ICE & WATER SHIELD" WINDOW FLASHING AT ALL WINDOWS AND DOORS, PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL FLASHING AND WATERPROOFING RESPONSIBILITIES. PROVIDE FLASHING AROUND WINDOWS AND DOORS PER THE MANUFACTURERS WRITTEN INSTRUCTIONS.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER AND HIS AGENTS AGAINST LOSS, DAMAGE, LIABILITY, OR ANY EXPENSE ARISING IN ANY MANOR FROM THE WRONGFUL OR NEGLIGENCE OF THE CONTRACTOR AND INDEPENDENT CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES.

Project
STAIRS PLAN
2610 PALM BLVD.
Sheet Title
TITLE SHEET

D.P. in Charge
A# _____
Job Captain
B# _____
Drawn By
C# _____
Date Drawn
4/15/2024
Issued for Pricing
E# _____
Issued for Permit
4/15/2024

Revisions	
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____

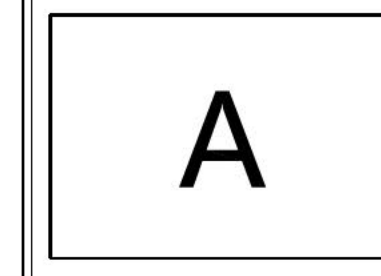
Issue Date G# _____

ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: _____

CONTACTORS SIGNATURE: _____

DATE: _____



LOT 10A
SECTION C 1 LOT
10A
 JAMES D. & MYRNA C.
 JOSEPH
 TMS NO. 571-09-00-218

LOT 8A
SECTION C 1 LOT
8A
 JOSEPH P GRIFFITH
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 AREA = 0.179 AC/7,778
 S.F.

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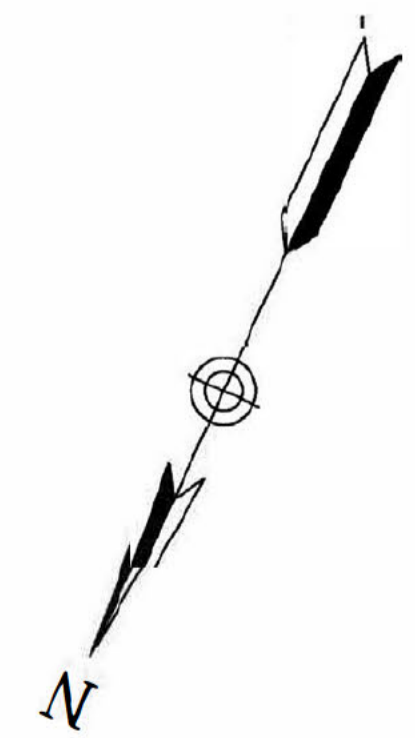
PROPOSED COVERAGE

TOTAL LOT AREA	42,997 SQFT
1ST FLOOR	1,714 SQFT
PORCHES	392 SQFT
DECK	141 SQFT
STAIRS	152 SQFT
DRIVEWAY - (PAVERS)	795 SQFT
MAX. COVERAGE	5,250 SQFT
TOTAL COVERAGE	3,194 SQFT
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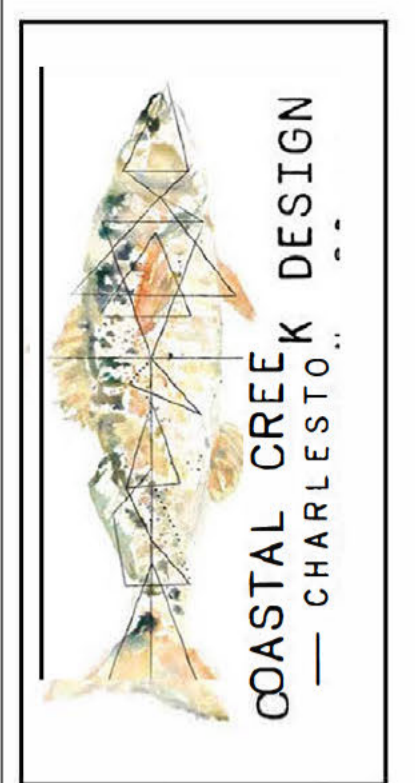
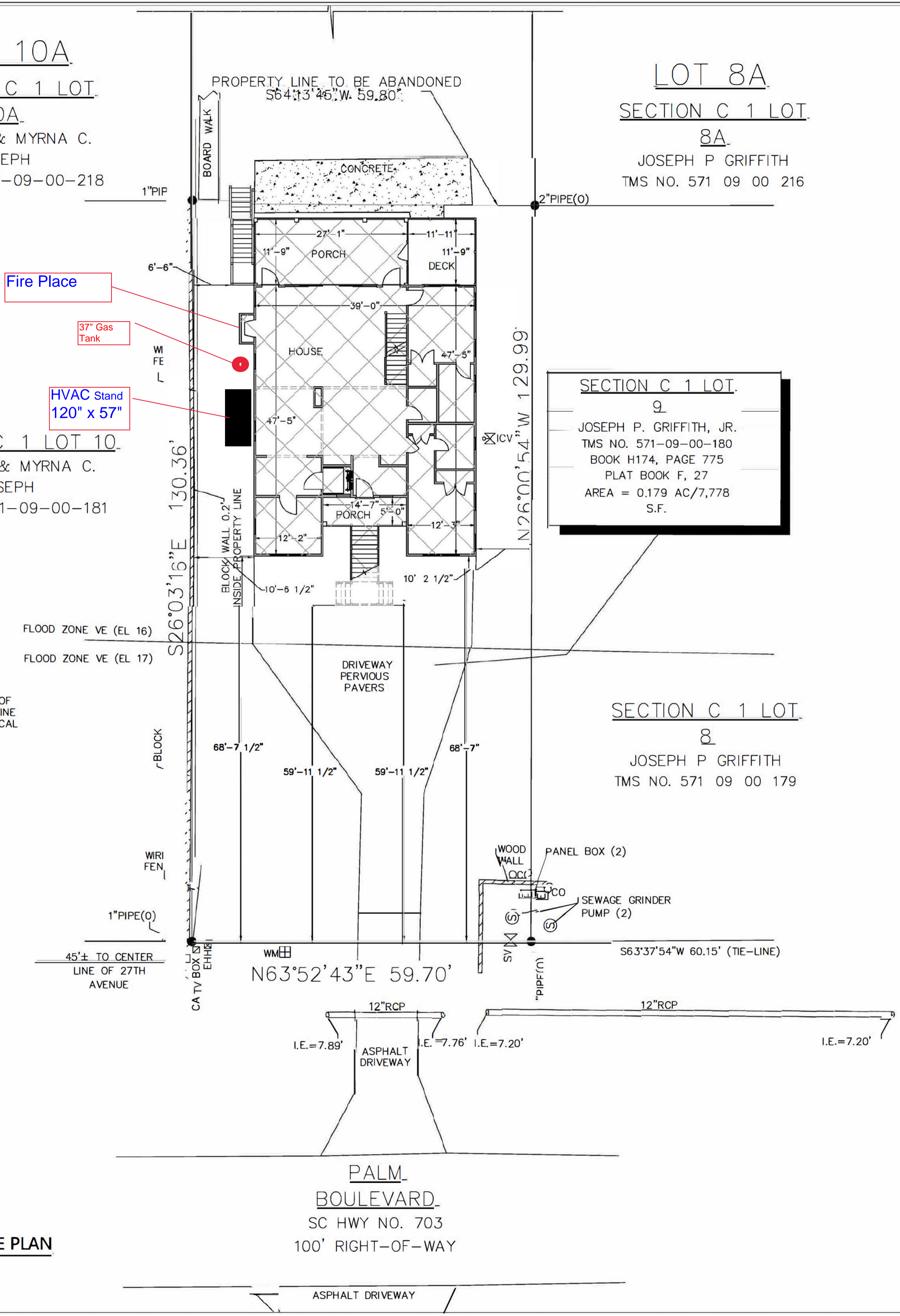
DRIVEWAY

TOTAL AREA	1,590 SQFT
PAVERS (50% OF TOTAL AREA)	795 SQFT

APPROXIMATE LOCATION OF FLOOD ZONE BOUNDARY LINE PER SCALING AND GRAPHICAL PLOTTING ONLY



PROPOSED SITE PLAN
 SCALE 1"=10'



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 MOUNT PLEASANT, SC 29664
 843-514-1750

Project: **STAIRS PLAN**
2610 PALM BLVD.
 Sheet Title: **PROPOSED SITE PLAN**

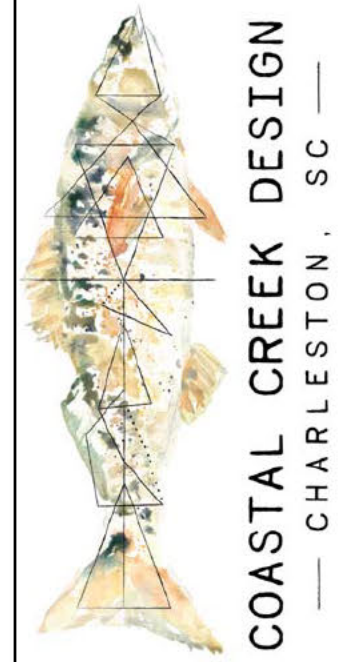
D.P. in Charge
 A#
 Job Captain
 B#
 Drawn By
 C#
 Date Drawn
 4/15/2024
 Issued for Pricing
 E#
 Issued for Perm

Revisions

No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date

Issue Date G#

A0c



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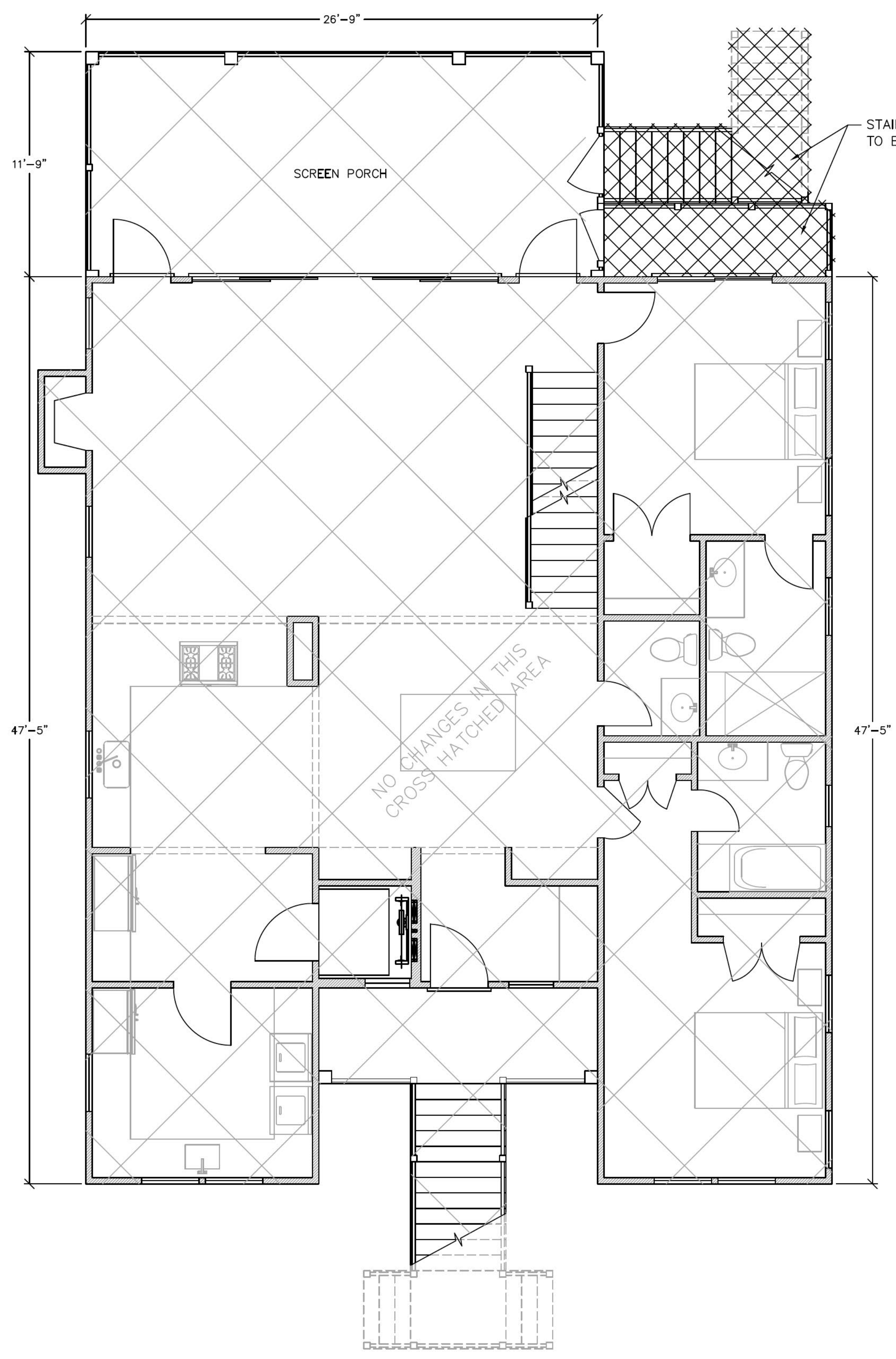
Project: STAIRS PLAN
 2610 PALM BLVD.
 Sheet Title: GROUND FLOOR PLANS

D.P. in Charge
 A# _____
 Job Captain
 B# _____
 Drawn By
 C# _____
 Date Drawn
 4/15/2024
 Issued for Pricing
 E# _____
 Issued for Permit
 4/15/2024

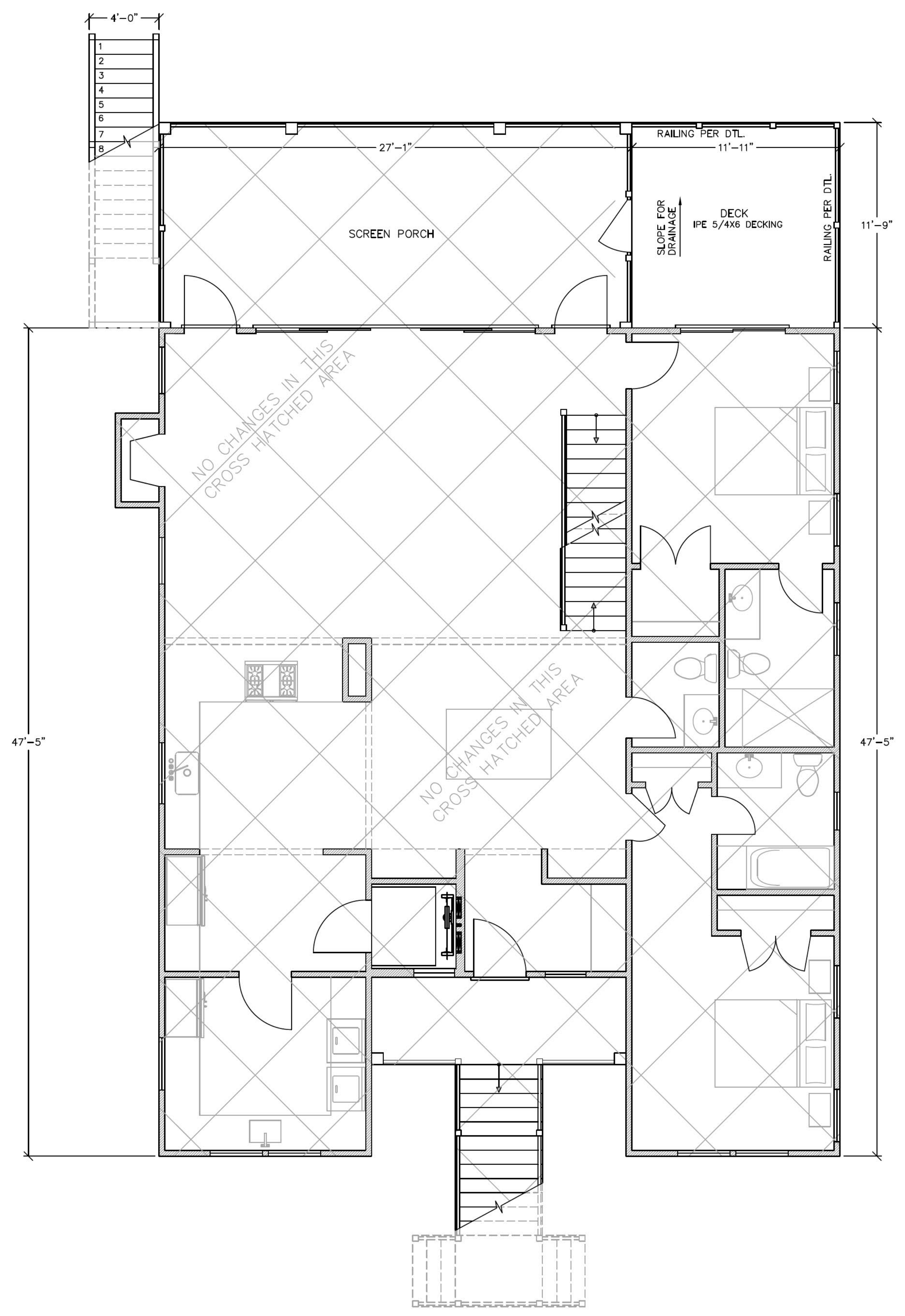
Revisions
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 No. _____ Date _____
 No. _____ Date _____
 No. _____ Date _____
 No. _____ Date _____
 No. _____ Date _____

Issue Date G# _____

A1

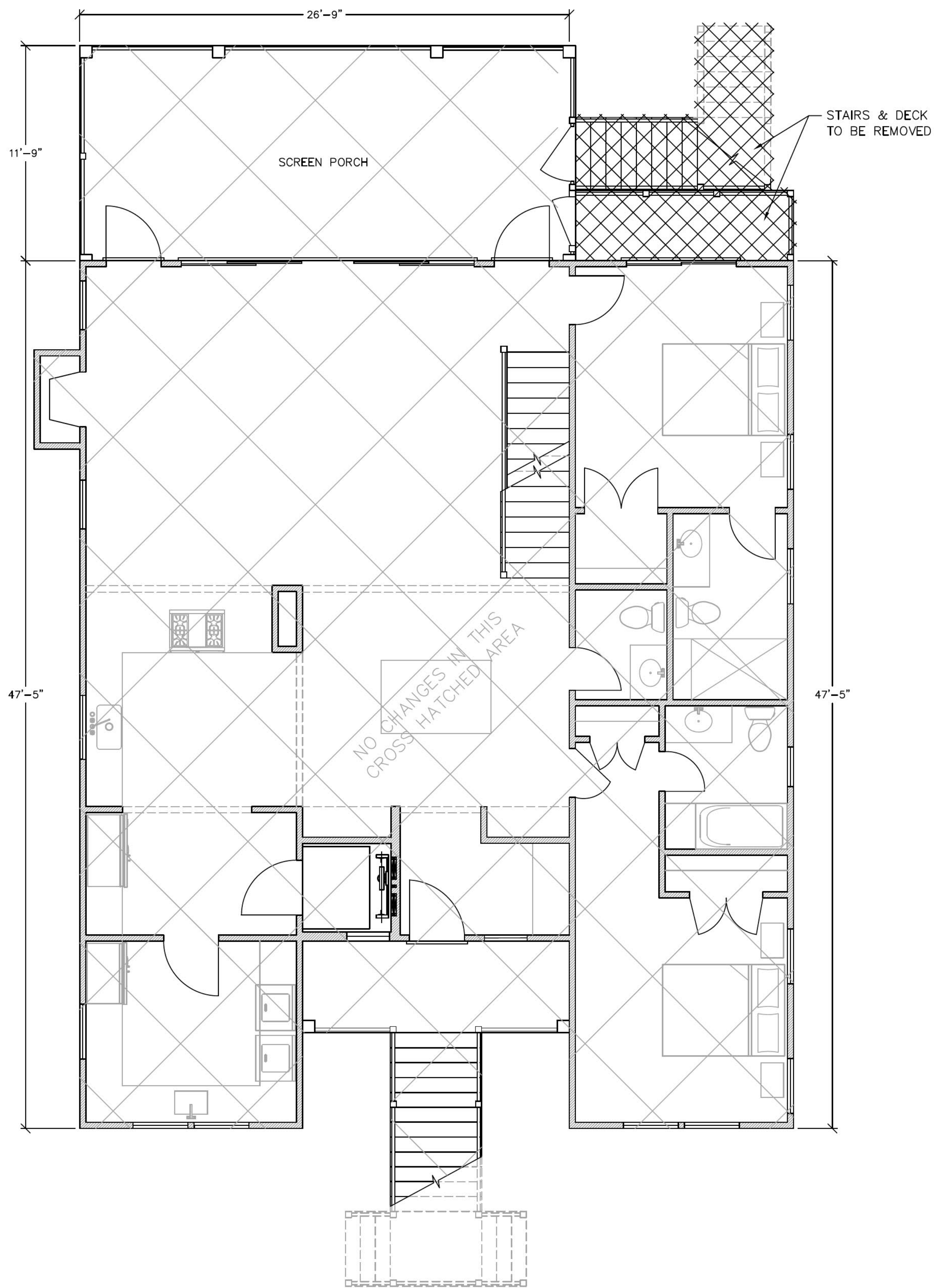


EXISTING 1ST FLOOR PLAN
 SCALE 1/4" = 1'-0"

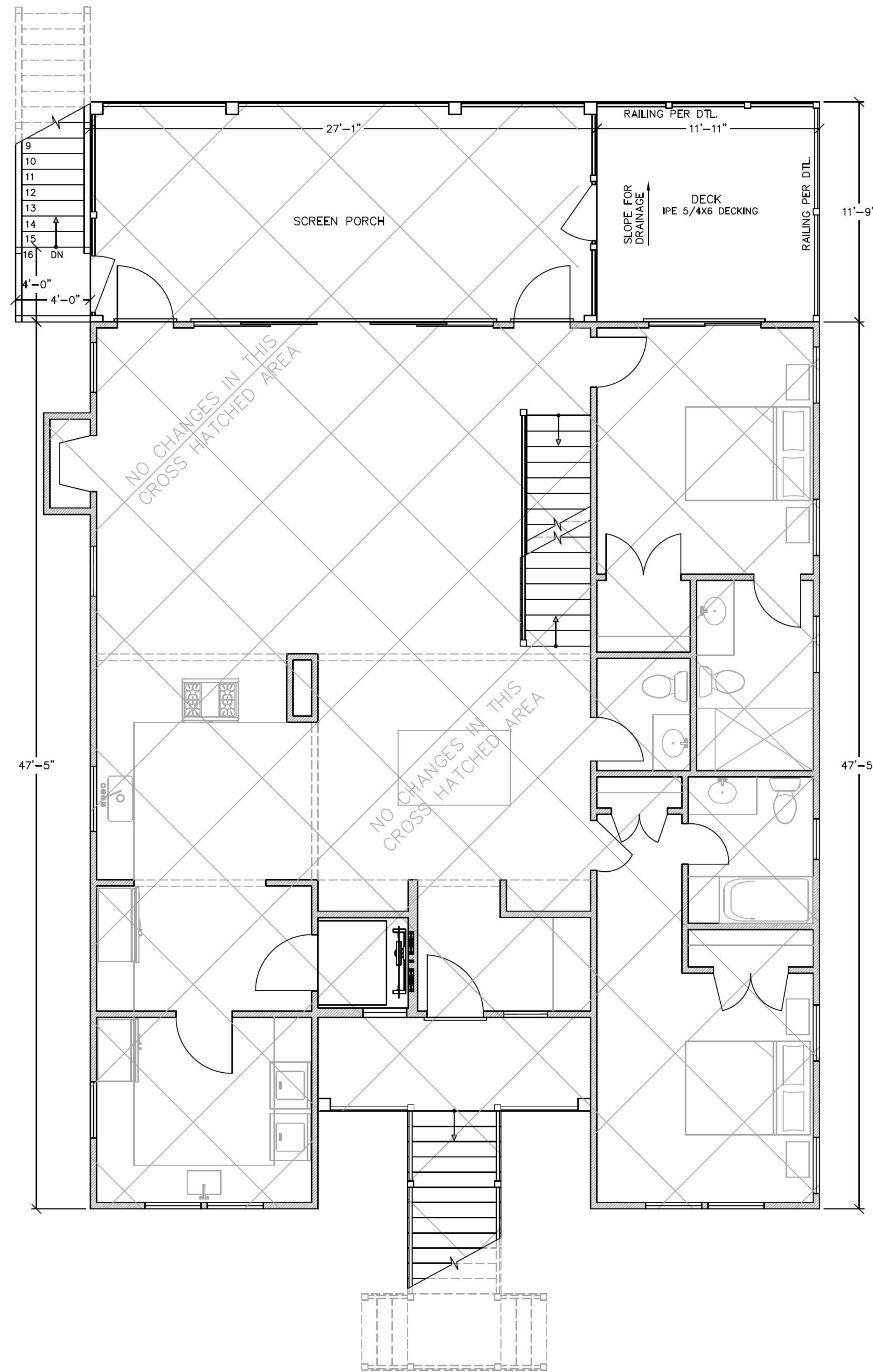


PROPOSED 1ST FLOOR PLAN
 SCALE 1/4" = 1'-0"

EXISTING DECK AREA	46 SQFT
PROPOSED DECK AREA	141 SQFT

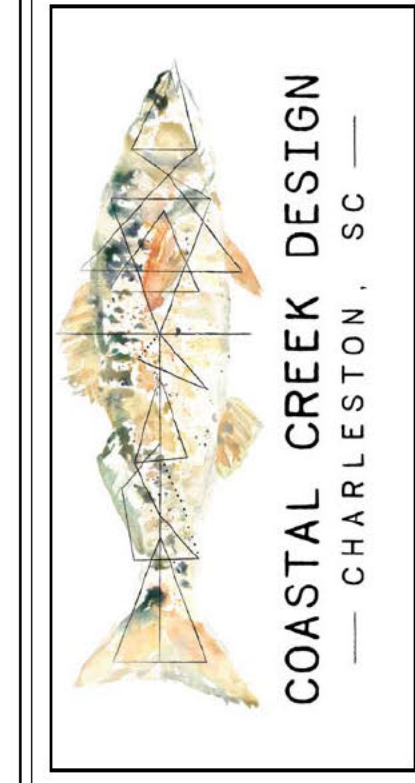


EXISTING 1ST FLOOR PLAN
 SCALE 1/4" = 1'-0"



PROPOSED 1ST FLOOR PLAN
 SCALE 1/4" = 1'-0"

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 MOUNT PLEASANT, SC 29464
 843-514-1730

Project: STAIRS PLAN
 2610 PALM BLVD.
 Sheet Title: 1ST FLOOR PLANS

D.P. in Charge
 A#
 Job Captain
 B#
 Drawn By
 C#
 Date Drawn
 4/15/2024
 Issued for Pricing
 E#

Issued for Permit
 4/15/2024

Revisions

No	Date
No	Date
No	Date
No	Date
No	Date
No	Date
No	Date
No	Date

Issue Date G#

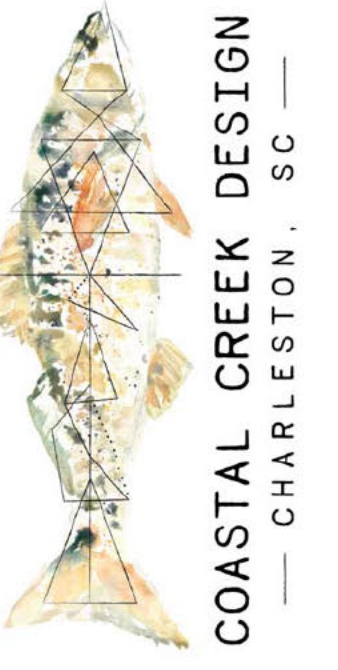
A2



EXISTING REAR ELEVATION
SCALE 1/4" = 1'



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'



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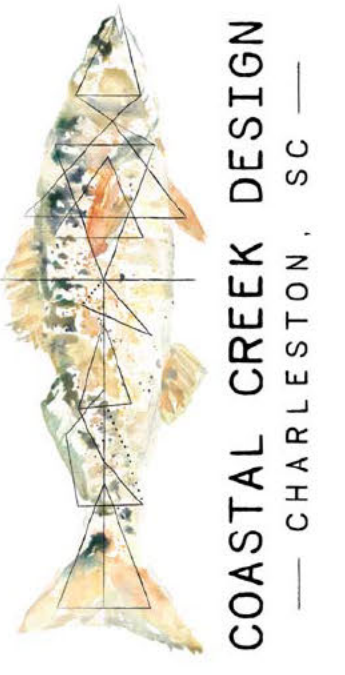
Project: STAIRS PLAN
2610 PALM BLVD.
Sheet Title: REAR ELEVATIONS

D.P. in Charge
A# _____
Job Captain
B# _____
Drawn By
C# _____
Date Drawn
4/15/2024
Issued for Pricing
E# _____
Issued for Permit
4/15/2024

Revisions
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____

Issue Date G# _____

A3



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 MOUNT PLEASANT, SC 29464
 843-314-1730

Project: STAIRS PLAN
 2610 PALM BLVD.
 Sheet Title: RIGHT ELEVATIONS

D.P. in Charge
 A# _____
 Job Captain
 B# _____
 Drawn By
 C# _____
 Date Drawn
 4/15/2024
 Issued for Pricing
 E# _____
 Issued for Permit
 4/15/2024

Revisions	
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____

Issue Date G# _____

A4



EXISTING RIGHT ELEVATION
 SCALE 1/4" = 1'



PROPOSED RIGHT ELEVATION
 SCALE 1/4" = 1'



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COASTAL CREEK DESIGN
501 BELLE HALL PARKWAY, UNIT 201
MOUNT PLEASANT, SC 29464
843-314-1730

Project: STAIRS PLAN
2610 PALM BLVD.
Sheet Title: LEFT ELEVATIONS

D.P. in Charge
A# _____
Job Captain
B# _____
Drawn By
C# _____
Date Drawn
4/15/2024
Issued for Pricing
E# _____
Issued for Permit
4/15/2024

Revisions

No.	Date
No.	Date
No.	Date
No.	Date
No.	Date
No.	Date

Issue Date G# _____

A5



EXISTING LEFT ELEVATION
SCALE 1/4" = 1'



PROPOSED LEFT ELEVATION
SCALE 1/4" = 1'







From: Matt Simms <msimms@iop.net>
Date: May 23, 2024 at 10:57:10 AM EDT
To: John Frick <john@levelbuildingprojects.com>
Cc: Rachel Jones <rjones@iop.net>, Lynsee Turok <LTurok@iop.net>
Subject: City of IOP Plan Review for: 2610 Palm Blvd

Good morning,

The City of Isle of Palms Building and Planning Department have begun an initial review of 2610 Palm Boulevard. The required documentation and plan review comments are itemized below and may also referred to on the marked-up plan set. **Please note that all items listed below must be satisfied/addressed before the issuance of a building/zoning permit.**

Plan Review Comments:

1. Stairs cannot encroach into the side setback. Please revise and resubmit.

Required Documentation:

Please reply to this email for any submittal of revisions and documents.

Feel free to reach out if you have any questions.

Thank you,
Matt

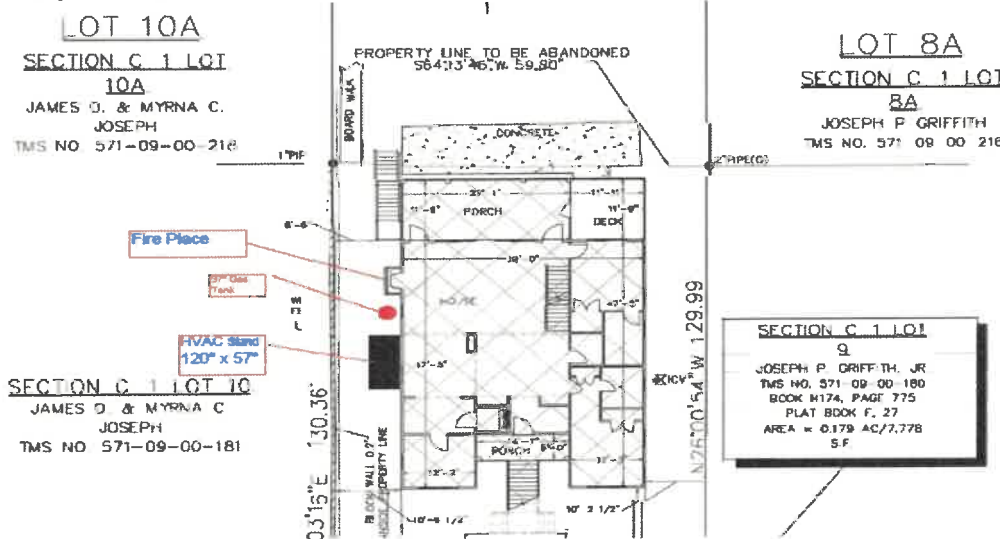
Matt Simms
Zoning Administrator
ISA Certified Arborist SO-11183A
City of Isle of Palms
P.O. Drawer 508
Isle of Palms, SC 29451
(p) 843-886-9912
(f) 843-886-8005

County of Charleston)
State of South Carolina)

AFFIDAVIT OF MYRNA JAMES

PERSONALLY, appeared before me Myrna James, who being duly sworn, deposes and says that:

1. My name is Myrna James. I am over the age of twenty-one (21) and of sound mind.
2. The facts stated herein are made from my personal knowledge and are made under penalty of perjury.
3. I am the owner of the property at 2612 Palm Boulevard, Isle of Palms, South Carolina.
4. It is my understanding that my next-door neighbor, Joseph Griffith, Jr., is attempting to get steps to his back porch permitted for construction by the Isle of Palms, within the side setback line, as generally set forth below:



5. I have no objection to Mr. Griffith's request and would encourage the City of Isle of Palms to approve his request.

Myrna James
Myrna James

SWORN to and subscribed before me
this 20 day of June, 2024.

Melanie M. Griffith
Notary Public for South Carolina
My Commission Expires: 12/12/27

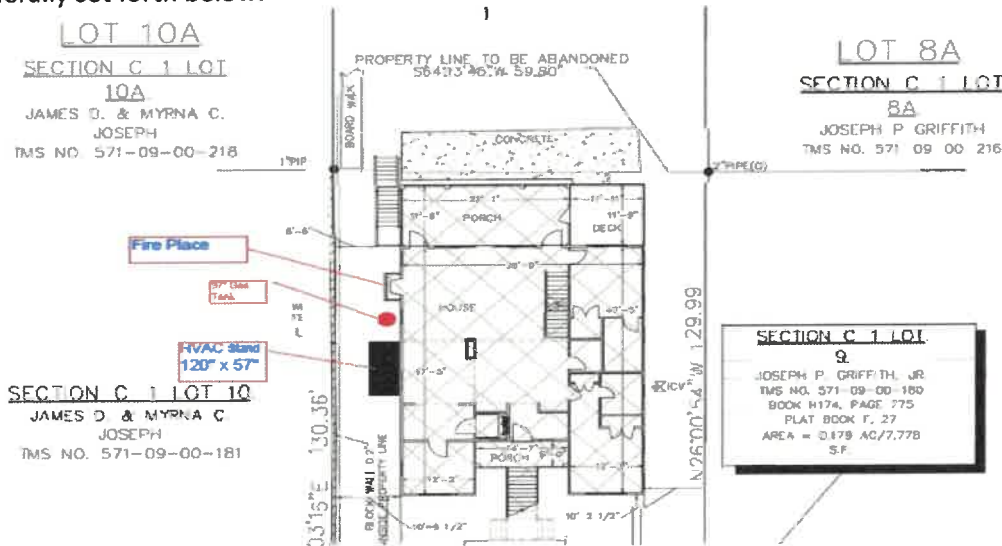
MELANIE M. GRIFFITH
Notary Public, State of South Carolina
My Commission Expires 12/12/2027

County of Charleston)
State of South Carolina)

AFFIDAVIT OF LOUIS GRIFFITH

PERSONALLY, appeared before me Louis Griffith, who being duly sworn, deposes and says that:

1. My name is Louis Griffith. I am over the age of twenty-one (21) and of sound mind.
2. The facts stated herein are made from my personal knowledge and are made under penalty of perjury.
3. I am an owner of the property at 26o8 Palm Boulevard, Isle of Palms, South Carolina.
4. It is my understanding that my next-door neighbor, Joseph Griffith, Jr., is attempting to get steps to his back porch permitted for construction by the Isle of Palms, within the side setback line, as generally set forth below:

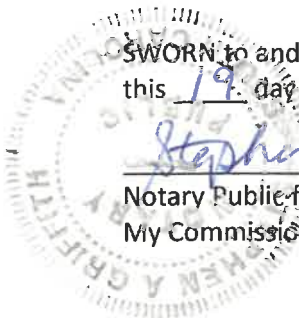


5. I have no objection to Mr. Griffith's request and would encourage the City of Isle of Palms to approve his request. This request will have no adverse impact on any property in the area, and will not adversely affect any property values in the area.

Louis Griffith
Louis Griffith

SWORN to and subscribed before me
this 19 day of June, 2024.

Stephen A. Griffith
Notary Public for South Carolina
My Commission Expires: 8-2-32



CITY OF ISLE OF PALMS

South Carolina



DEPARTMENT OF BUILDING, PLANNING AND LICENSING

June 26th, 2024

Mr. Joseph Griffith
2610 Palm Boulevard
Isle of Palms, SC 29451

Dear Mr. Griffith,

On May 23rd, 2024, I denied an addition of exterior stairs located in the side yard, 6 feet and 6 inches from the property line. Per Sec. 5-4-32(6)(b) of the City's code, the minimum side setback in the SR-1 zoning district is 10 feet. Additionally, the proposed exterior stairs were designed to be located past the maximum building line. Sec. 5-4-51(3)(a) prohibits any structures within the Preservation Overlay Zone 2 from being constructed seaward of the maximum building line. Based on the codes noted above, I denied the proposed plans and advised the contractor to revise and resubmit plans compliant with the City's code.

I understand that there is an HVAC stand located in the same side setback. This issue has been previously reviewed and the City ultimately determined the HVAC stand was existing and is a nonconforming structure. Pursuant to Sec. 5-4-47(b), an existing structure is allowed to remain and be renovated, so long as no part of the structure extends beyond the original footprint of the encroachment. There is also a chimney projecting into the 10-foot side setback, which is permissible pursuant to Section 5-4-12(f).

Feel free to let me know if you have any questions or concerns.

Sincerely,

Matt Simms

Zoning Administrator

From: [Matt Simms](#)
To: joe@joegriffith.com
Cc: [Douglas Kerr](#)
Subject: Fwd: [EXTERNAL] Fwd: 2610 Palm Blvd.
Date: Friday, June 21, 2024 3:17:10 PM
Attachments: [image001.png](#)
[image002.png](#)

Good afternoon Mr. Griffith,

I have received your application and everything looks to be in order. I am out of town until Tuesday, but I can formally process the appeal application when I return.

Please see the below email sent to Carden Seamon in regard to the AC stand in the setback. The City determined the AC stand was existing, based off the attached survey from 2002 that shows the stand in the same location that was proposed. This was ultimately approved as a preexisting legal nonconforming structure that could remain in the setback, pursuant to Sec. 5-4-47(b) of the City's code.

Thank you,
Matt

Matt Simms
Zoning Administrator
City of Isle of Palms
P.O. Drawer 508
Isle of Palms, SC 29451
(p) 843-886-9912
(f) 843-886-8005

*** WARNING *** All e-mail correspondence to and from this address may be subject to public disclosure under the South Carolina Freedom of Information Act (FOIA).

From: Matt Simms <msimms@iop.net>
Sent: Friday, January 19, 2024 10:27 AM
To: Carden Seamon <carden@levelbuildingprojects.com>; Lynsee Turok <LTurok@iop.net>
Subject: RE: [EXTERNAL] Fwd: 2610 Palm Blvd.

Good morning Carden,

Looks like the AC unit is in the setback – this will have to be moved out of the setback, unless it is on an existing stand.

Thanks!

Matt

Matt Simms
Zoning Administrator
City of Isle of Palms
P.O. Drawer 508
Isle of Palms, SC 29451
(p) 843-886-9912
(f) 843-886-8005

*** WARNING *** All e-mail correspondence to and from this address may be subject to public disclosure under the South Carolina Freedom of Information Act (FOIA).

From: Carden Seamon <carden@levelbuildingprojects.com>
Sent: Thursday, January 18, 2024 4:00 PM
To: Matt Simms <msimms@iop.net>; Lynsee Turok <LTurok@iop.net>
Subject: [EXTERNAL] Fwd: 2610 Palm Blvd.

[EXTERNAL]



External (carden@levelbuildingprojects.com)



Please see as build below

Carden Seamon
Level Building Projects
843.478.6489

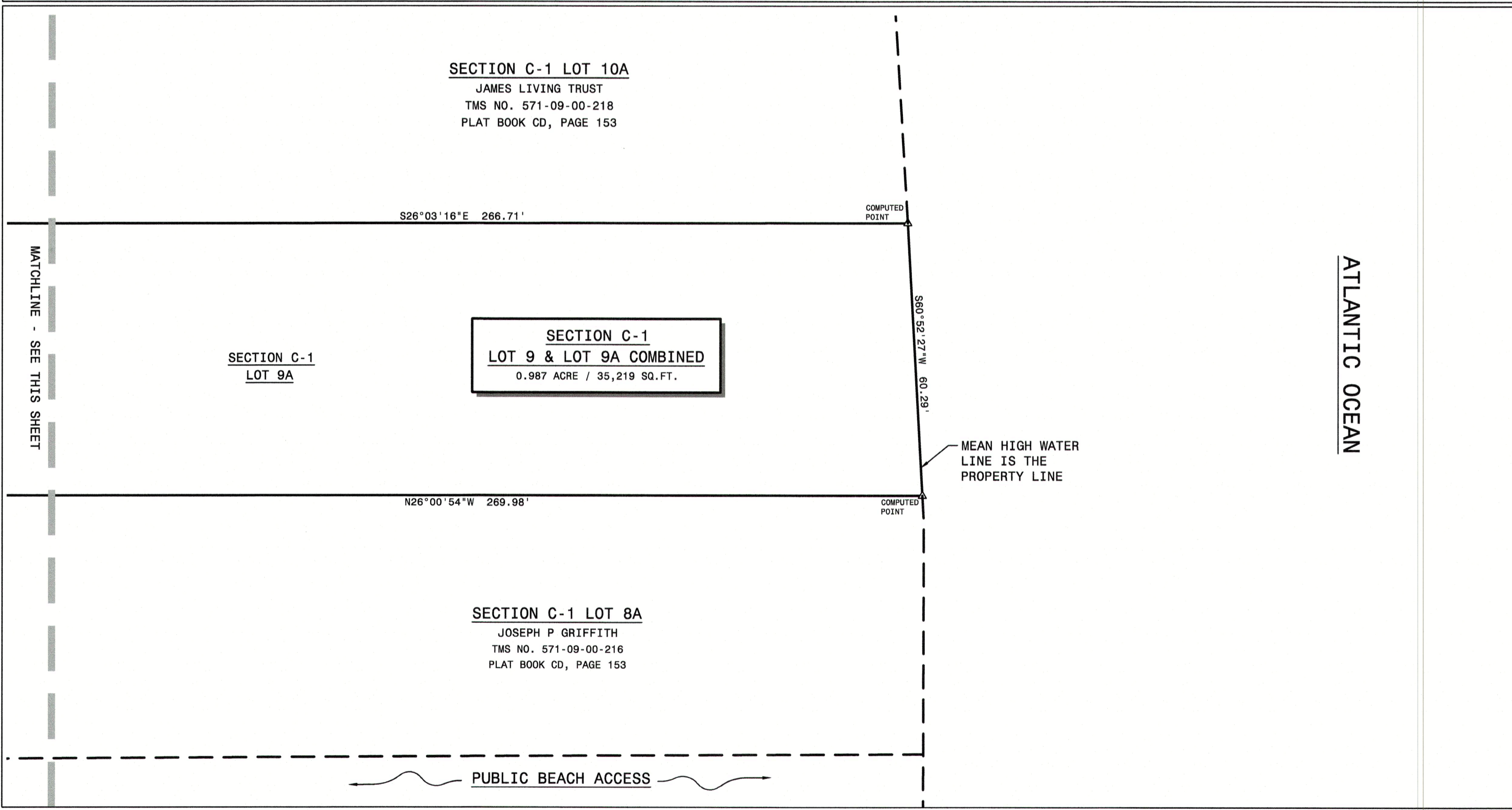
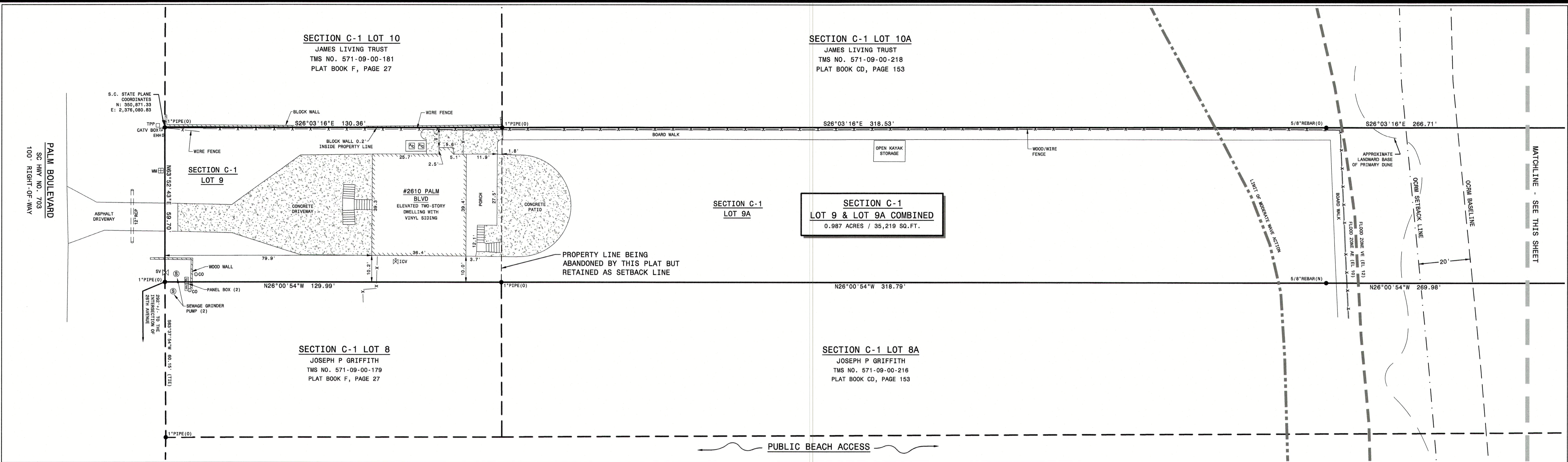
Begin forwarded message:

From: keith campbell <keith.riverland@gmail.com>
Date: January 18, 2024 at 3:06:24 PM EST
To: carden@levelbuildingprojects.com
Subject: 2610 Palm Blvd.

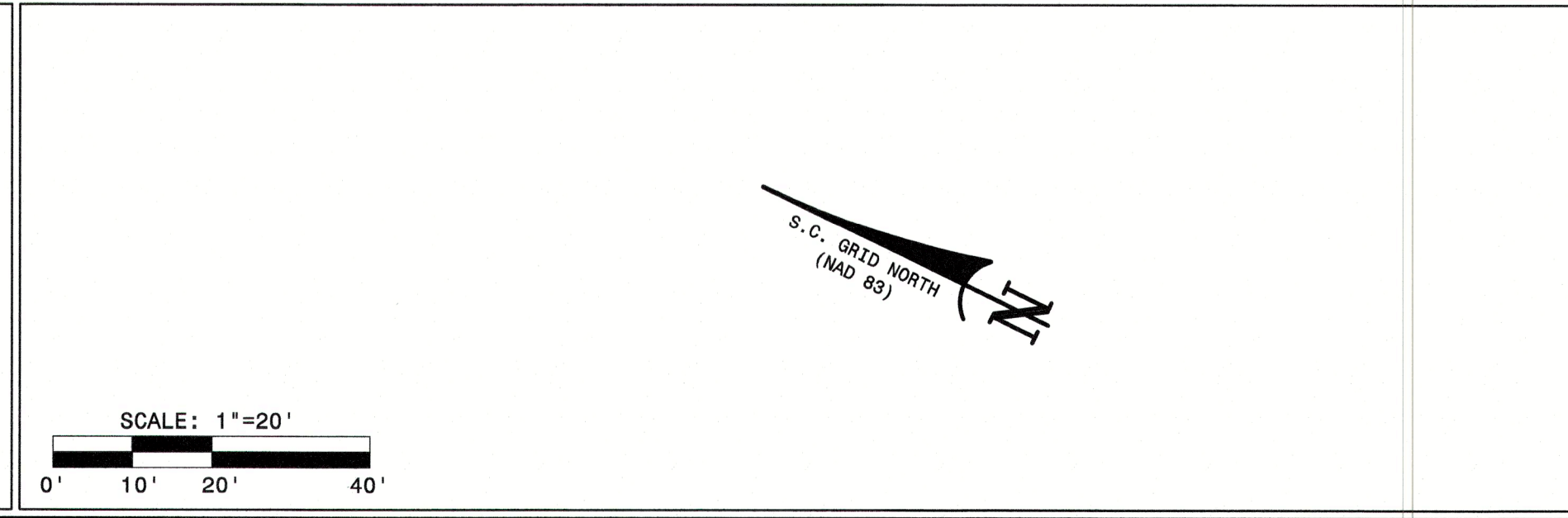
Keith Campbell

843.901.7731
keith.riverland@gmail.com

Aug 10, 2022 - 2:43pm Printed By: phajes
 H:\80002 - HGBD, Inc.\422149601 - 2610 Palm Blvd - PL Abandonment\dwg\2610 Palm Blvd - PL Abandonment.dwg - PL Abandonment.dwg
 COPYRIGHT © 2022



CITY APPROVALS AND REGISTER OF DEEDS USE



LEGEND	
PROPERTY LINE	—————
ADJACENT OR R/W LINE	-----
OCRM BASELINE	-----
OCRM SETBACK LINE	-----
APPROXIMATE DUNE LINE	-----
AIR CONDITIONING UNIT	AC
CABLE TELEVISION BOX	CB
ELECTRIC HAND HOLE	EH
FENCE LINE	— x — x — x — x —
IRRIGATION CONTROL VALVE	ICV
COMPUTED POINT	△
PROPERTY CORNER OLD OR NEW	● (O) (N)
REINFORCED CONCRETE PIPE	RCP
SANITARY SEWER CLEANOUT	CC
SEWER VALVE	SV
TELEPHONE PEDESTAL	TPP
WATER METER	WM
OCEAN & COASTAL RESOURCE MANAGEMENT	OCRM

VICINITY MAP
(NOT TO SCALE)

SUBJECT PARCEL DATA	
SECTION C-1 LOT 9 2610 PALM BOULEVARD CURRENT OWNERS: JOSEPH P. GRIFFITH, JR. TMS NO. 571-09-00-180 DEED BOOK: H174, PAGE 775 PLAT BOOK: F-27 AREA: 0.178 ACRES / 7,778 SQ.FT.	SECTION C-1 LOT 9A 2610 PALM BOULEVARD CURRENT OWNERS: JOSEPH P. GRIFFITH, JR. TMS NO. 571-09-00-217 DEED BOOK: U205, PAGE 597 PLAT BOOK: CD-153 AREA: 0.809 ACRES / 35,219 SQ.FT.
SECTION C-1 LOT 9 AND LOT 9A: (COMBINED) AREA: 0.987 ACRES / 42,997 SQ.FT.	

REFERENCES:

- SECTION C-1 ISLE OF PALMS, S.C. SUBDIVIDED BY THE JOHN MCGRADY CO., BY FRANCIS M. HARLESTON, DATED JUNE 1940 AND RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE IN PLAT BOOK F, PAGE 27.
- PLAT OF LOTS 8A-12A BLOCK 40 SECTION B, LOTS 1A-10A BLOCK 57 SECTION B, LOTS 1A-10A BLOCK 61 SECTION B, LOTS 1A-12A SECTION C-1, LOTS 13A-36A SECTION C-2, AND LOTS 37A-85A OWNED BY THE BEACH CO., BY LEWIS E. SEABROOK, DATED APRIL 19, 1991 AND RECORDED IN THE CHARLESTON COUNTY R.M.C. OFFICE IN PLAT BOOK CD, PAGE 153.
- CHARLESTON COUNTY T.M.S. NO. 571-09-00-180 & -217.

NOTES:

- THIS IS NOT A VALID, TRUE COPY UNLESS IT BEARS THE SEAL AND SIGNATURE OF THE PROFESSIONAL LAND SURVEYOR NAMED HEREON.
- ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PARCEL IS FOR DESCRIPTIVE PURPOSES ONLY.
- NO GUARANTEE, EITHER STATED OR IMPLIED IS MADE THAT THIS PROPERTY IS NOT SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTIONS, RESTRICTIONS, SUB-SURFACE CONDITIONS, OR ANY OTHER MATTERS OF TITLE THAT ARE NOT VISIBLE, NOT DISCLOSED, OR NOT DISCOVERED.
- ONLY UTILITIES LOCATED ON THIS PROPERTY WHICH WERE OBVIOUS AND APPARENT TO THE SURVEYOR WERE LOCATED ON THIS SURVEY. THERE MAY BE ADDITIONAL UTILITIES LOCATED ON THIS PROPERTY WHICH HAVE NOT BEEN SHOWN ON THIS PLAT.
- ENVIRONMENTAL CONDITIONS, INCLUDING THE PRESENCE OR ABSENCE OF WETLANDS WERE NOT ADDRESSED BY THIS SURVEY.
- ZONING MATTERS NOT INVESTIGATED AS PART OF THIS SURVEY.

FLOOD STATEMENT:

I HEREBY STATE THAT I HAVE CONSULTED FEMA FLOOD INSURANCE RATE MAP NO. 45019C0542K, PANEL 542 OF 855, HAVING AN EFFECTIVE DATE OF JANUARY 29, 2021. BASED ON SCALING AND GRAPHICAL PLOTTING ONLY, I HAVE DETERMINED THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY LIES WITHIN ZONE "AE" (EL 10) AND ZONE "VE" (EL 12) OF SAID MAP.

SURVEYOR'S STATEMENT:

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

PATRICK L. HAJES
S.C.P.L.S. NO. 28584

HUSSEY GAY BELL
Established 1958
474 WANDO PARK BLVD., SUITE 201, MT. PLEASANT, SC 29464 / T: 843.849.7500

REVISIONS:	
DRAWN BY	CHECKED BY
PLH	PLH
DATE: JULY 28, 2022	
SCALE: 1" = 20'	
JOB NO. 422149601	
SURVEY NO. M-22081001-A2045	

PLAT SHOWING THE ABANDONMENT OF THE PROPERTY LINE BETWEEN SECTION C-1, LOT 9 AND LOT 9A
 PREPARED FOR: JOSEPH P. GRIFFITH, JR.
 ISLE OF PALMS, CHARLESTON COUNTY, SOUTH CAROLINA

SHEET NO.
1 OF 1